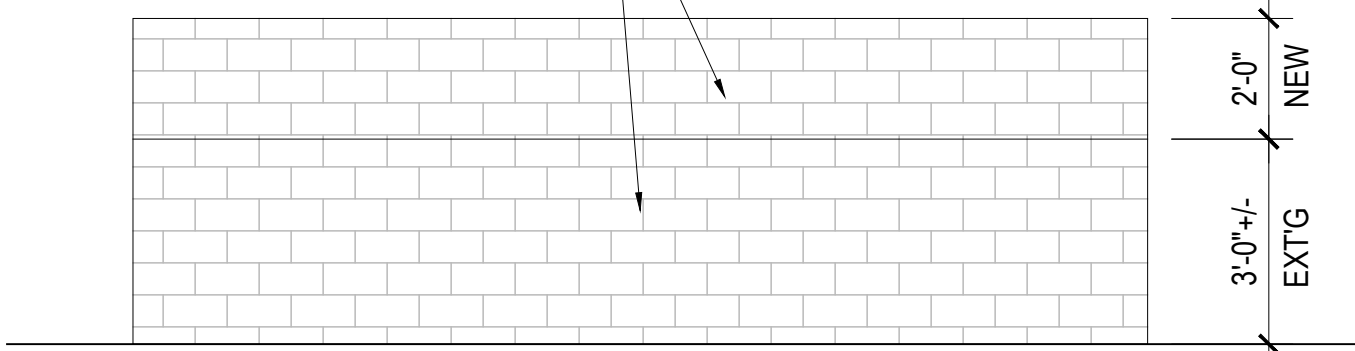
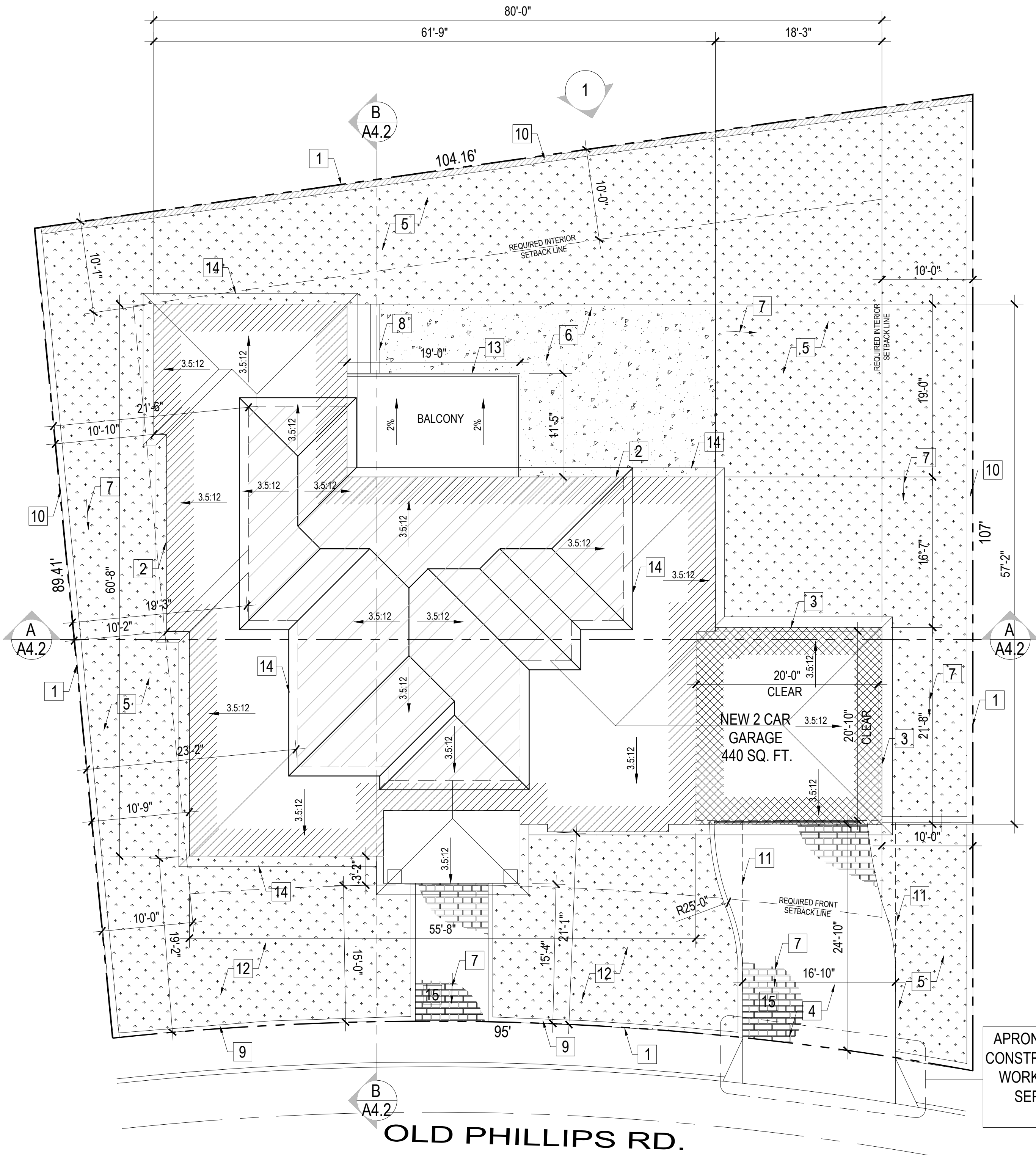


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NEW BLOCK WALL EXTENSION
W/ STONE VENEER
EXT'G BLOCK WALL



RETAINING WALL ELEVATION - 1
SCALE : 1/8" = 1'-0"



APRON & CURB SHALL BE
CONSTRUCTED PER PUBLIC
WORKS ENG. REQUEST.
SEPARATE PERMIT
REQUIRED.

PROJECT INFORMATION

PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207

PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE STREET, STE. E
GLENDALE, 91203
OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM

SITE PLAN KEYED NOTES

1. PROPERTY LINE
2. NEW SFD FLOOR LINE
3. GARAGE LINE
4. EXT'G DRIVEWAY TO REMAIN
5. EXT'G LANDSCAPING TO REMAIN
6. NEW CONC. PATIO (NOT COVERED)
7. DIRECTION OF SHEET FLOW 2%
8. NEW CONC. LANDING WITH STEPS
9. EXT'G PLANTER WALL TO REMAIN
10. EXT'G BLOCK WALL TO REMAIN
NEW EXTENSION UNDER A SEPARATE PERMIT
11. EXT'G DRIVEWAY LINE
12. NEW LANDSCAPE
13. NEW BALCONY
14. NEW RESIDENCE ROOF LINE
15. NEW PAVERS

- PROPOSED FIRST FLOOR AREA
- PROPOSED SECOND FLOOR AREA
- EXT'G LANDSCAPING
- NEW 2 CAR GARAGE
- NEW CONCRETE PATIO
- NEW REAR BLOCK WALL HEIGHT EXTENSION

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY
OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE
SEPARATE PERMIT.

NO ROOFTOP EQUIPMENT ALLOWED IN THIS ZONE.

NEW HOUSE AIVAZIAN RESIDENCE 924 OLD PHILLIPS RD. GLENDALE, CA 91207

SITE MAP



SHEET INDEX

ARCHITECTURAL SHEETS:

- A0.1 COVER SHEET & SITE PLAN
- A0.2 SECURITY & GREEN NOTES
- A1.1 EXT'G SITE PLAN
- A1.2 NEIGHBORING PROPERTIES
- A2.1 PROPOSED FIRST FLOOR PLAN
- A2.2 PROPOSED SECOND ROOF PLAN
- A2.3 DOOR / WINDOW SCHEDULE
- A2.4 PROPOSED ROOF PLAN
- A3.0 EXT'G ELEVATIONS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A3.3 STORY POLE PLAN
- A4.1 BUILDING SECTIONS
- A4.2 SITE SECTIONS

TITLE 24:

- T1 ENERGY CALCULATIONS
- T2 ENERGY CALCULATIONS

ENGINEERING SHEETS:

- S-1.0 GENERAL NOTES
- S-1.1 GENERAL NOTES
- S-1.2 DETAILS
- S-2.1 FOUNDATION PLAN
- S-2.2 ROOF FRAMING PLAN
- S-3.1 DETAILS
- S-3.2 DETAILS

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	9,250± SQ. FT.
NEW SINGLE FAMILY RESIDENCE	3,499 SQ. FT.
FIRST FLOOR	2,665 SQ. FT.
SECOND FLOOR	834 SQ. FT.
NEW 2-CAR GARAGE	440 SQ. FT.
NEW ATTACHED REAR BALCONY	216 SQ. FT.
TOTAL LIVING AREA	3,499 SQ. FT.

FLOOR AREA RATIO	TOTAL LIVING AREA (3,499 SQ. FT.)	
MAX. 40%	LOT AREA (9,250 SQ. FT.)	38 %
TOTAL MAX. - 3,700 SQ. FT.		

LOT COVERAGE RATIO	LOT COVERAGE (4,188 SQ. FT.)	
MAX. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	45 %

LANDSCAPE RATIO	LANDSCAPED AREA (4,880 SQ. FT.)	
MIN. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	53 %

ZONING	R-1R II
APN	5649-002-039
OCCUPANCY	RESIDENCE R-3 GARAGE U
CONSTRUCTION TYPE	V-B
YEAR BUILT	1967
NUMBER OF STORIES	2
FIRE ZONE	YES
CA CLIMATE ZONE	9
FIRE SPRINKLERS	YES

PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD &
CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING &
SAFETY CODE. CBC SECTION 106.1.1

SCOPE OF WORK

- NEW SINGLE FAMILY DWELLING (3,499 SQ. FT.) WITH 4
BEDROOMS AND 4.5 BATHROOMS
- NEW ATTACHED 2-CAR GARAGE (440 SQ. FT.)

NOTES

A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLWING :

1. RETAINING WALL OF BLOCK FENCE WALL
2. GRADING WORK
3. SWIMMING POOL
4. A SEPARATE STRUCTURE
5. SHORING
6. DEMOLITION

B. NO CHANGE IN GRADES ALLOWED

FIRE DEPT. NOTES

1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR
APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS
PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS
GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL
CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC
NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4)
INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND
SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE
EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS
NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

2. FIRE SPRINKLERS: PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM
THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE
RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS OF THE GLENDALE
FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS
OF ISSUANCE OF THE BUILDING PERMIT.

3. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING
ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL
WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO
THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE
DETECTORS.

4. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH
SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE
BEDROOM (S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND
EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND /OR
NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC.
R315

5. EGRESS: ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE
WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.

6. REQUIRED FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE LISTED
BELOW. FOR ALL INSPECTIONS, CALL 818-548-4810

7. FIRE PERMITS: THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE
DEPARTMENT:

8. FUEL MODIFICATION / LANDSCAPING FOR HIGH FIRE HAZARD AREAS
(HFHA) :
MAINTAIN EXISTING / PROVIDE FUEL MODIFICATION ONLY - NO FIRE
DEPARTMENT REVIEW OR PERMITTING OF LANDSCAPE PLANS.
ALL FUEL MODIFICATION / LANDSCAPING SHALL COMPLY WITH FIRE
DEPARTMENT APPROVAL / PERMITTED LANDSCAPE PLANS.

- ☒ FIRE SPRINKLER OVERHEAD/UNDERGROUND ROUGH AND FLUSH
(BEFORE COVERING ANY PIPING)
- ☒ FIRE SPRINKLER FINAL
- ☒ FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE
DEPARTMENT ACCESS, SMOKE DETECTORS, FUEL MODIFICATION, ETC.)

9. ADDITIONAL REQUIRED GFD INSPECTIONS: FOR INSPECTIONS, CALL
818-548-4810. FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE: FIRE
PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT
ACCESS, SMOKE DETECTORS).

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING
STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.
HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS
ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/
OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES,
SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE
BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE
WORK SO INVOLVED.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH
INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF
EGRESS.

Attachment #1

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COVER SHEET & SITE PLAN

AIVAZIAN RESIDENCE

924 OLD PHILLIPS DR., GLENDALE 91207

DATE: 08/2022
DRAWN BY: NRK
JOB NO. 20028

SHEET NO.

A0.1

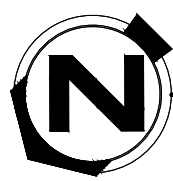
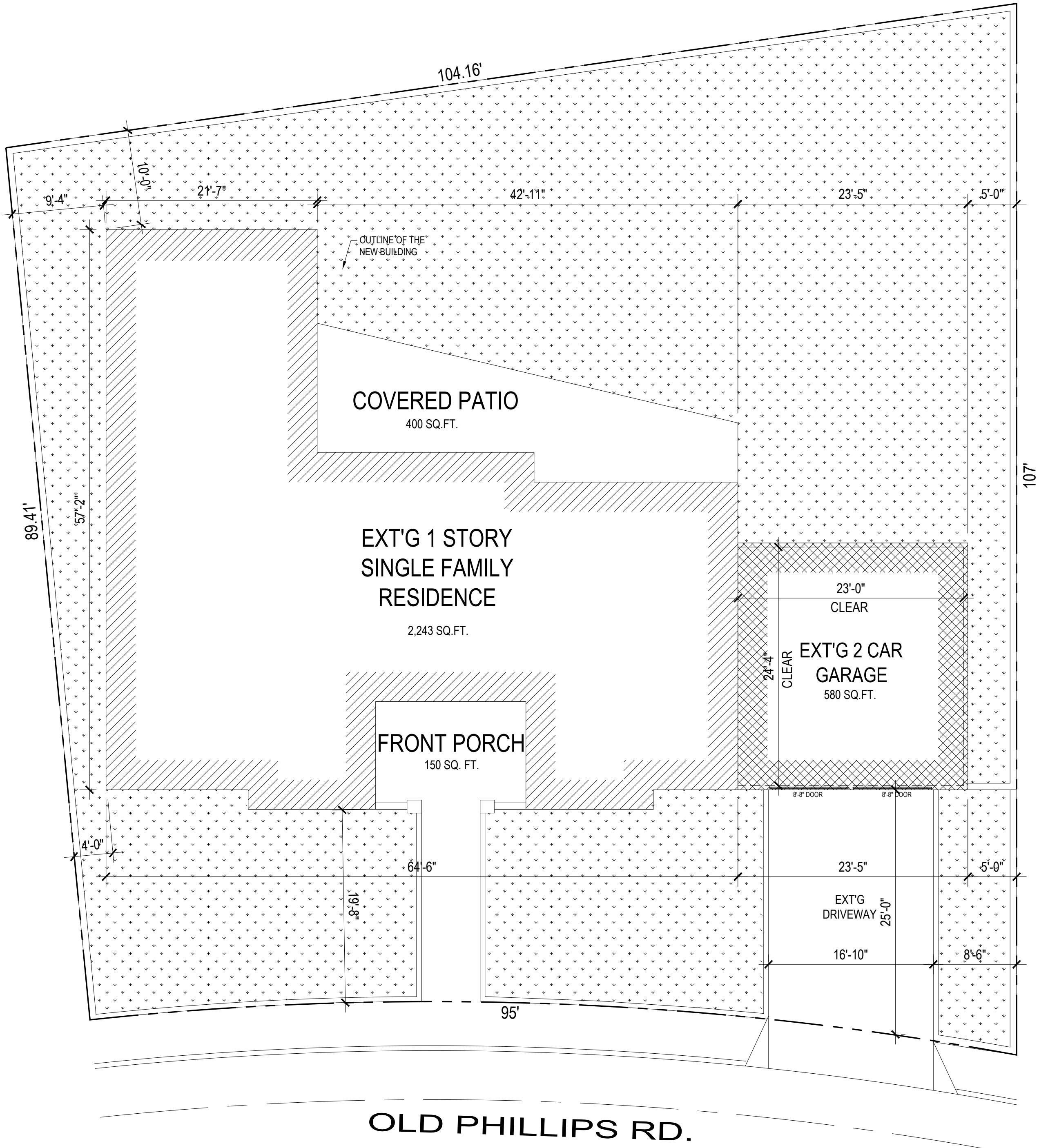


PROPOSED SITE PLAN AND ROOF PLAN

SCALE : 1/8" = 1'-0"

REVISED PLANS 9-1-22

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EXT'G SITE PLAN
SCALE : 1/8" = 1'-0"

SITE PLAN LEGEND

- EXT'G RESIDENCE
- EXT'G GARAGE
- EXT'G LANDSCAPING

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	9,250± SQ. FT.
EXT'G RESIDENCE	2,243 SQ. FT.
EXT'G 2 CAR GARAGE	580 SQ. FT.
EXT'G FRONT PORCH	150 SQ. FT.
EXT'G COVERED PATIO	400 SQ. FT.

TOTAL LIVING AREA	2,243 SQ. FT.
-------------------	---------------

FLOOR AREA RATIO	TOTAL LIVING AREA : 2,243 SQ. FT.	24 %
MAX. 40%	LOT AREA (9,250 SQ. FT.)	
TOTAL MAX. - 3,710 SQ. FT.		

LOT COVERAGE RATIO	LOT COVERAGE (3,373 SQ. FT.)	37 %
MAX. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	

LANDSCAPE RATIO	LANDSCAPED AREA (4,980 SQ. FT.)	54 %
MIN. 40% - 3,700 SQ. FT.	LOT AREA (9,250 SQ. FT.)	

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EXT'G SITE PLAN

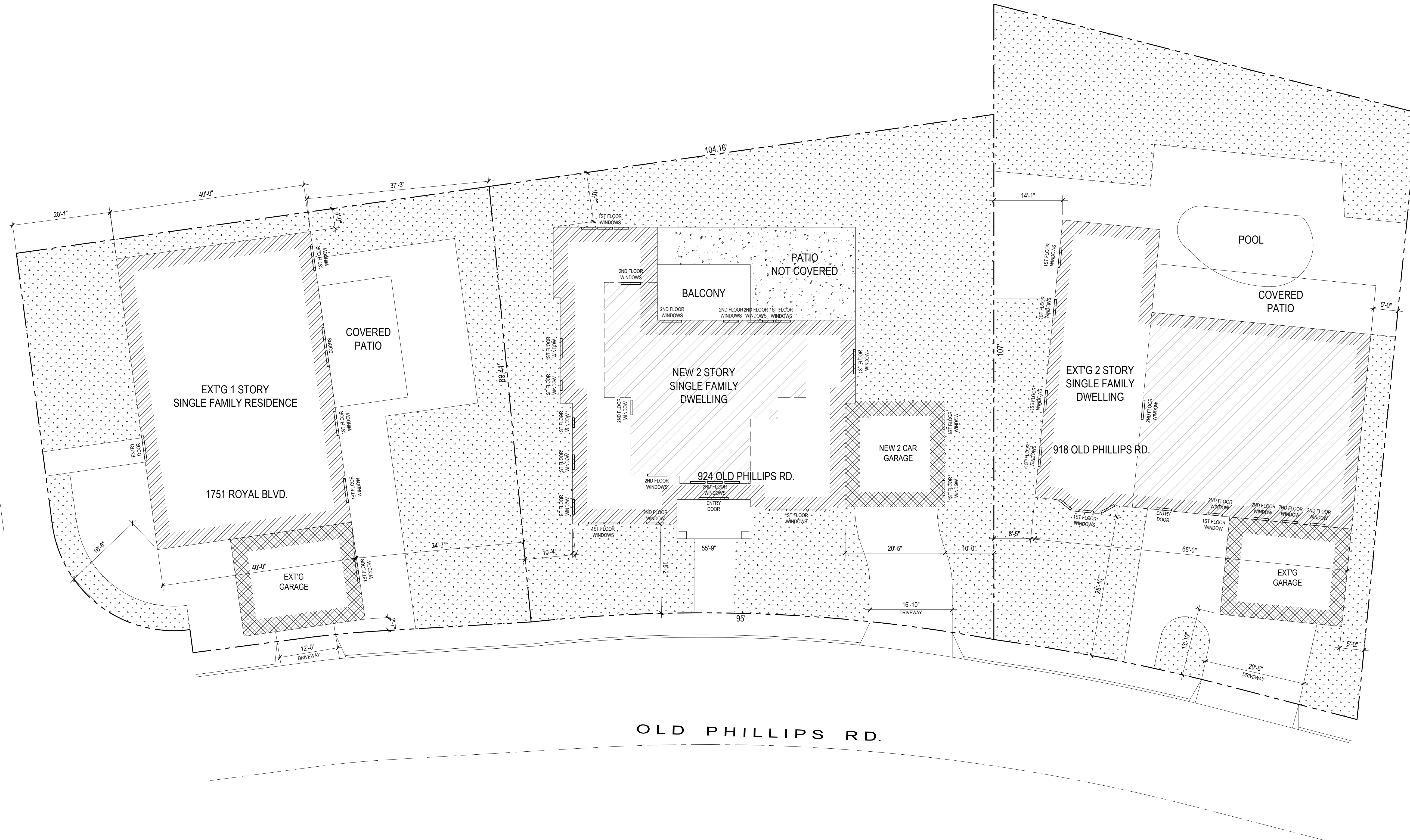
AIVAZIAN RESIDENCE





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-  SINGLE FAMILY RESIDENCE (1ST FLOOR)
-  SINGLE FAMILY RESIDENCE (2ND FLOOR)
-  EXT'G LANDSCAPING
-  GARAGE

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NEIGHBORING PROPERTIES

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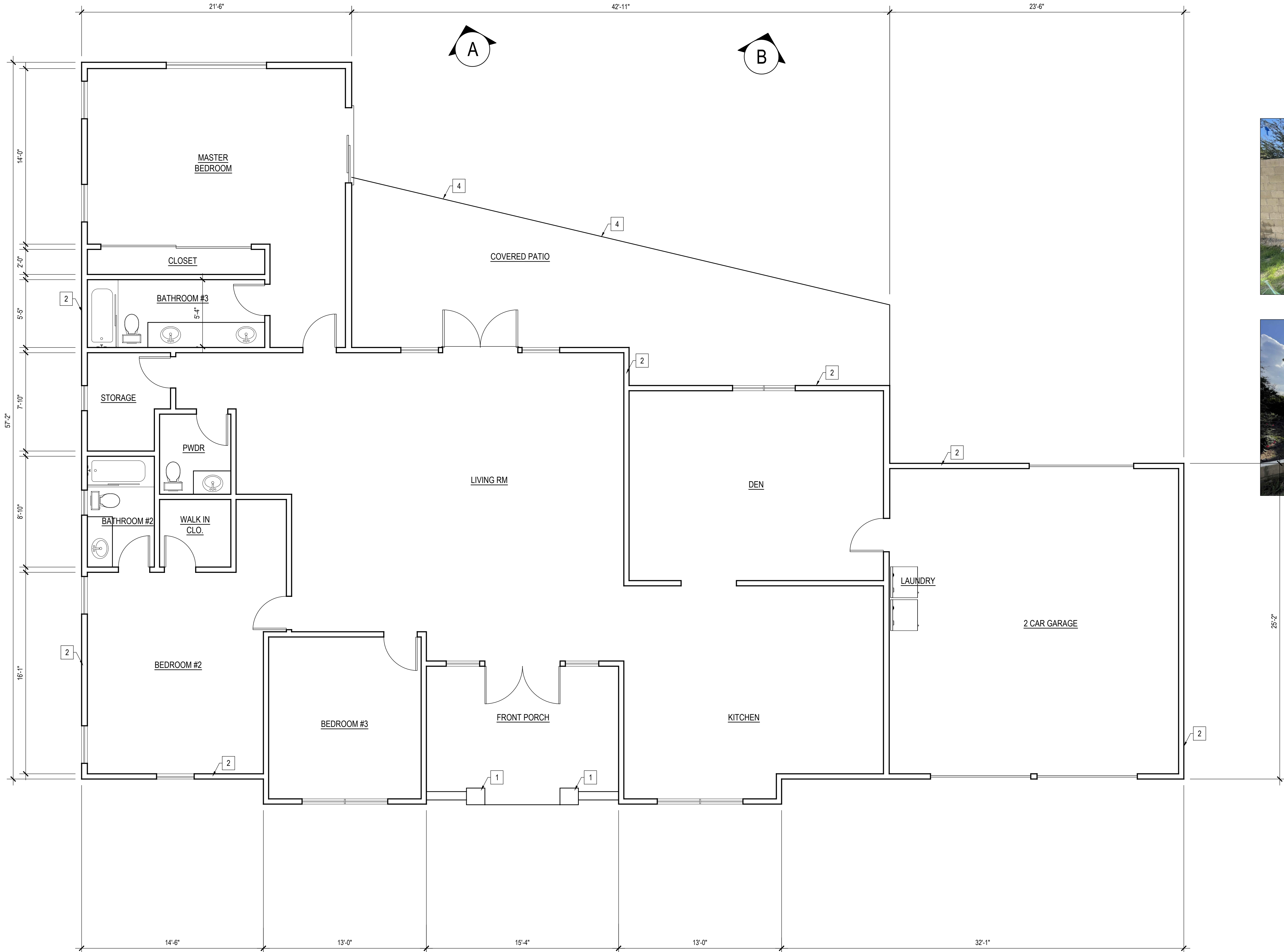
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EXT'G RESIDENCE FLOOR PLAN

SCALE : 1/4" = 1'-0"

FLOOR PLAN KEYED NOTES :

1. EXT'G FRONT COLUMNS
2. EXT'G WALLS TO BE DEMOLISHED
3. EXT'G WALLS TO REMAIN
4. EXT'G COVERED PATIO LINE

WALL / SYMBOL LEGEND

— EXT'G WALLS TO BE DEMOLISHED

MORE THAN 50% OF THE EXISTING HOUSE
TO BE DEMOLISHED



IMAGE - A



IMAGE - B

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EXT'G FLOOR PLAN

AIVAZIAN RESIDENCE

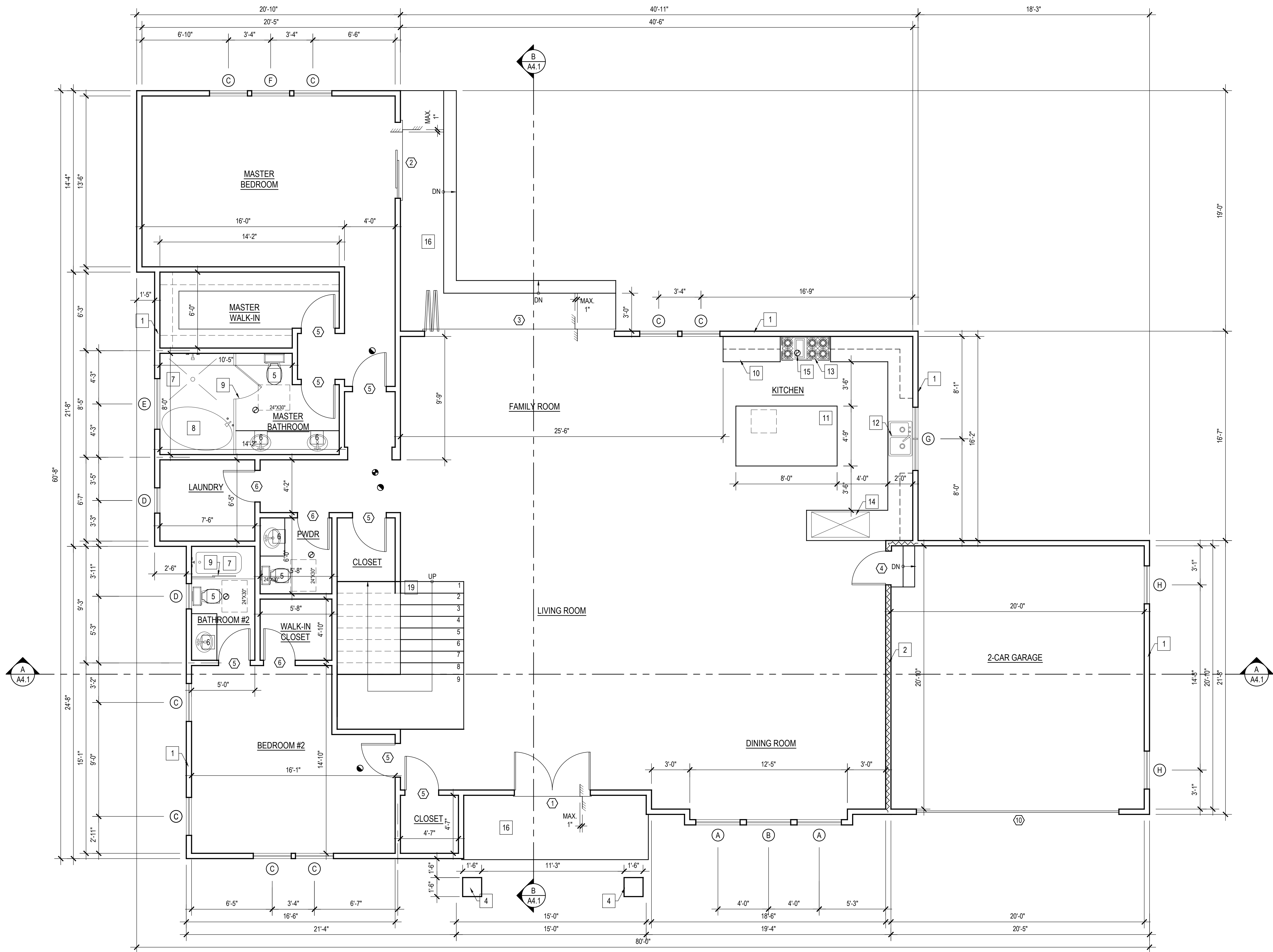
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PROPOSED FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

FLOOR PLAN KEYED NOTES :

(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. NEW WALLS
2. 1-HOUR FIRE RATED WALL
3. LOW WALL - 42" MIN. HT.
4. NEW COLUMN
5. NEW TOILET (S.B.O.)
6. NEW SINK (S.B.O.)
7. NEW TUB OR SHOWER (TILE TO CEILING)
8. NEW FREESTANDING TUB
9. CATEGORY II (TEMPERED GLASS) SHOWER DOOR & ENCL.FRAMELESS & SLIDER
10. NEW BASE AND UPPER CABINETS
11. NEW ISLAND-STONE TILE COUNTERTOP (S.B.O.)
12. NEW DOUBLE SINK
13. NEW RANGE
14. NEW REFRIGERATOR
15. RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
16. NEW CONC. LANDING MIN. WITH STEPS
17. NEW GUARDRAIL - 42" MIN. HT.
18. NEW WASHER AND DRYER
19. NEW STAIRCASE

WALL / SYMBOL LEGEND

- NEW WALL
- FIRE-RATED WALL - WITH 5/8" TYPE 'X' GYP BOARD ON THE GARAGE SIDE
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- GFCI - GROUND FAULT CIRCUIT INTERRUPTER
- CEILING HEIGHTS
- WATER CLOSET CLEARANCE

WATER FIXTURE

ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANCE PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION BY BUILDING DEPARTMENT. SEE CIVIL CODE SECTION 1101.1

NON-COMPLIANT PLUMBING FIXTURES ARE DEFINED AS:

- A) ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GALLONS PER FLUSH.
 - B) ANY SHOWER HEAD MANUFACTURED TO FLOW MORE THAN 2.5 GALLONS / MIN.
 - C) ANY INTERIOR FAUCET MANUFACTURED TO FLOW MORE THAN 2.2 GALLONS / MIN.
- ALL WATER FIXTURES TO BE LOW FLOW

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PROPOSED FIRST FLOOR PLAN

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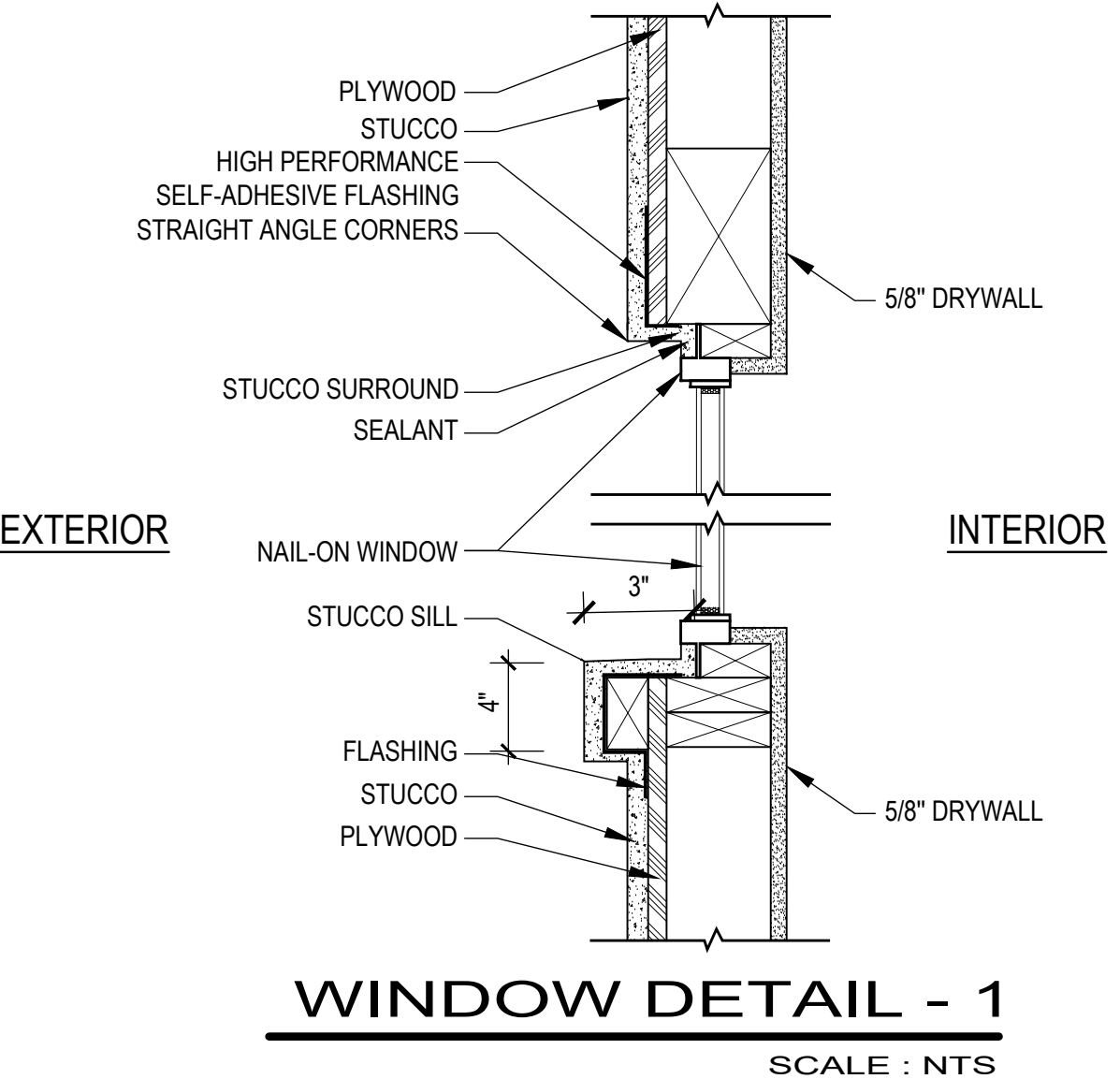
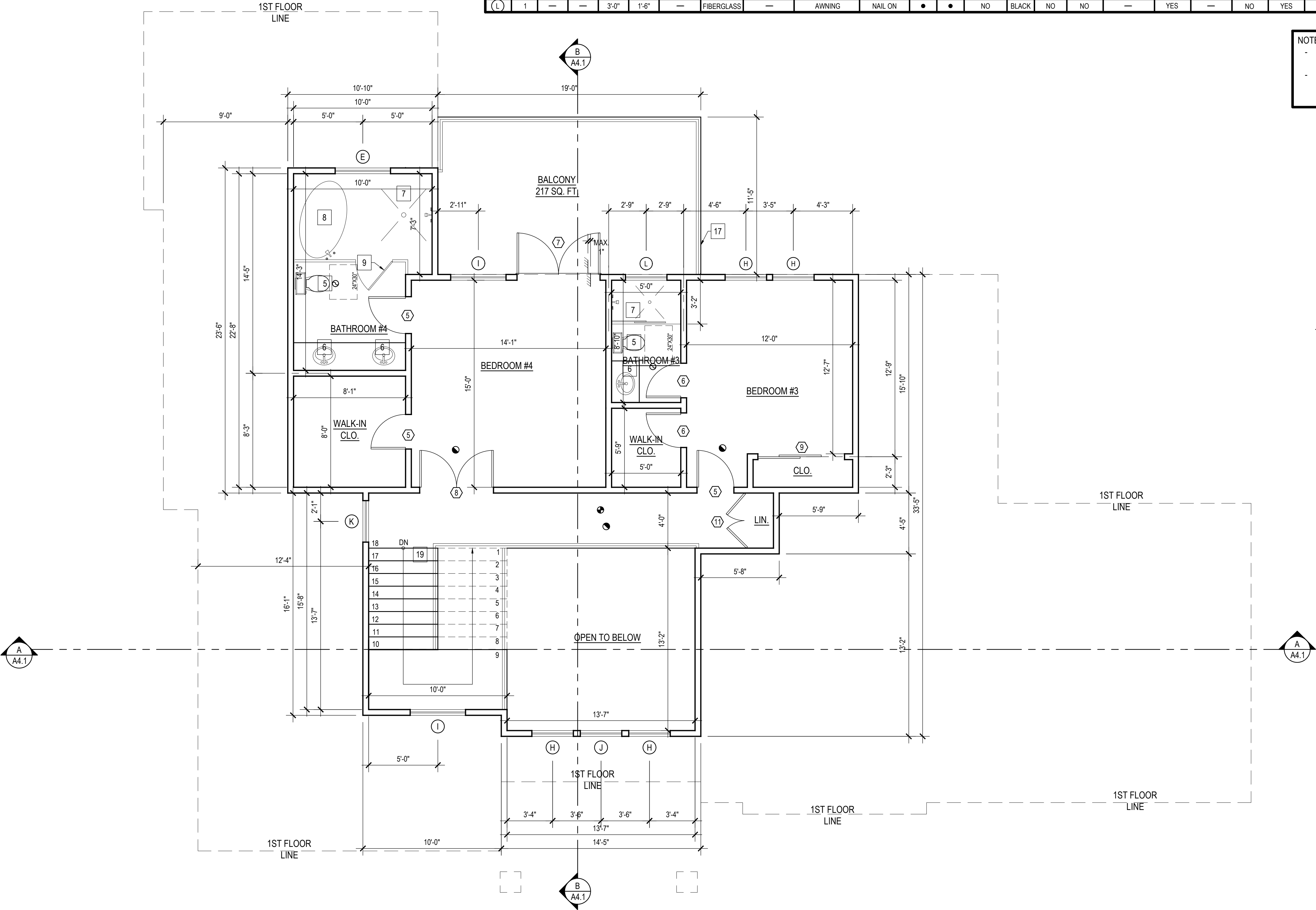
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DOOR SCHEDULE									
MARK	NO. OF UNIT	DOOR						NOTES	
		SIZE			GLAZE		FINISH		
		WD	HGT	THK	DUAL	TEMP			
(1)	1	6'-0"	8'-0"	1 3/4"		●	PAINTED	ENTRY DOOR - DOUBLE WOOD DOORS	
(2)	1	6'-0"	8'-0"	1 3/4"		●	PAINTED	EXTERIOR SLIDING DOOR	
(3)	1	15'-0"	8'-0"	1 3/4"		●	PAINTED	EXTERIOR FOLDING DOOR	
(4)	1	2'-8"	6'-8"	1 3/4"			PAINTED	20-MIN FIRE RATED, SELF LATCHING, SELF CLOSING	
(5)	10	2'-8"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR	
(6)	5	2'-6"	6'-8"	1 3/8"			PAINTED	INTERIOR DOOR	
(7)	1	6'-0"	6'-8"	1 3/8"		●	PAINTED	FRENCH DOORS	
(8)	1	5'-4"	6'-8"	1 3/8"			PAINTED	INTERIOR DOUBLE DOOR	
(9)	1	6'-3"	6'-8"	1 3/8"			PAINTED	DOUBLE SLIDING CLOSET DOOR	
(10)	1	16'-0"	8'-0"	1 3/4"		●	PAINTED	GARAGE DOOR	
(11)	1	4'-0"	6'-8"	1 3/8"		●	PAINTED	DOUBLE LINEN CLOSET DOOR	

WINDOW SCHEDULE																									
MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SD) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE ALL WINDOWS TO BE RECESSED. SEE DETAIL 1
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	2	—	—	3'-6"	6'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(B)	1	—	—	3'-6"	6'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(C)	8	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	YES/NO	BLACK	YES / NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(D)	2	—	—	2'-0"	3'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	OBSCURED GLASS IN BATHROOM
(E)	2	—	—	4'-0"	2'-0"	—	FIBERGLASS	—	AWNING	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(F)	1	—	—	3'-0"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	YES	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(G)	1	—	—	5'-0"	3'-0"	—	FIBERGLASS	—	SLIDER	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(H)	6	—	—	3'-0"	4'-0"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	YES/NO	BLACK	YES/NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(I)	2	—	—	4'-0"	5'-0"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	YES/NO	BLACK	YES/NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(J)	1	—	—	2'-0"	2'-6"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	NO	BLACK	YES	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(K)	1	—	—	3'-0"	2'-6"	—	FIBERGLASS	—	CASEMENT	NAIL ON	●	●	YES	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	
(L)	1	—	—	3'-0"	1'-6"	—	FIBERGLASS	—	AWNING	NAIL ON	●	●	NO	BLACK	NO	NO	—	YES	—	NO	YES	NO	0.3	0.22	

NOTE:
- ALL DOORS & WINDOWS SHALL MEET CITY OF GLENDALE'S SECURITY ORDINANCE.
- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED



PROPOSED SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"

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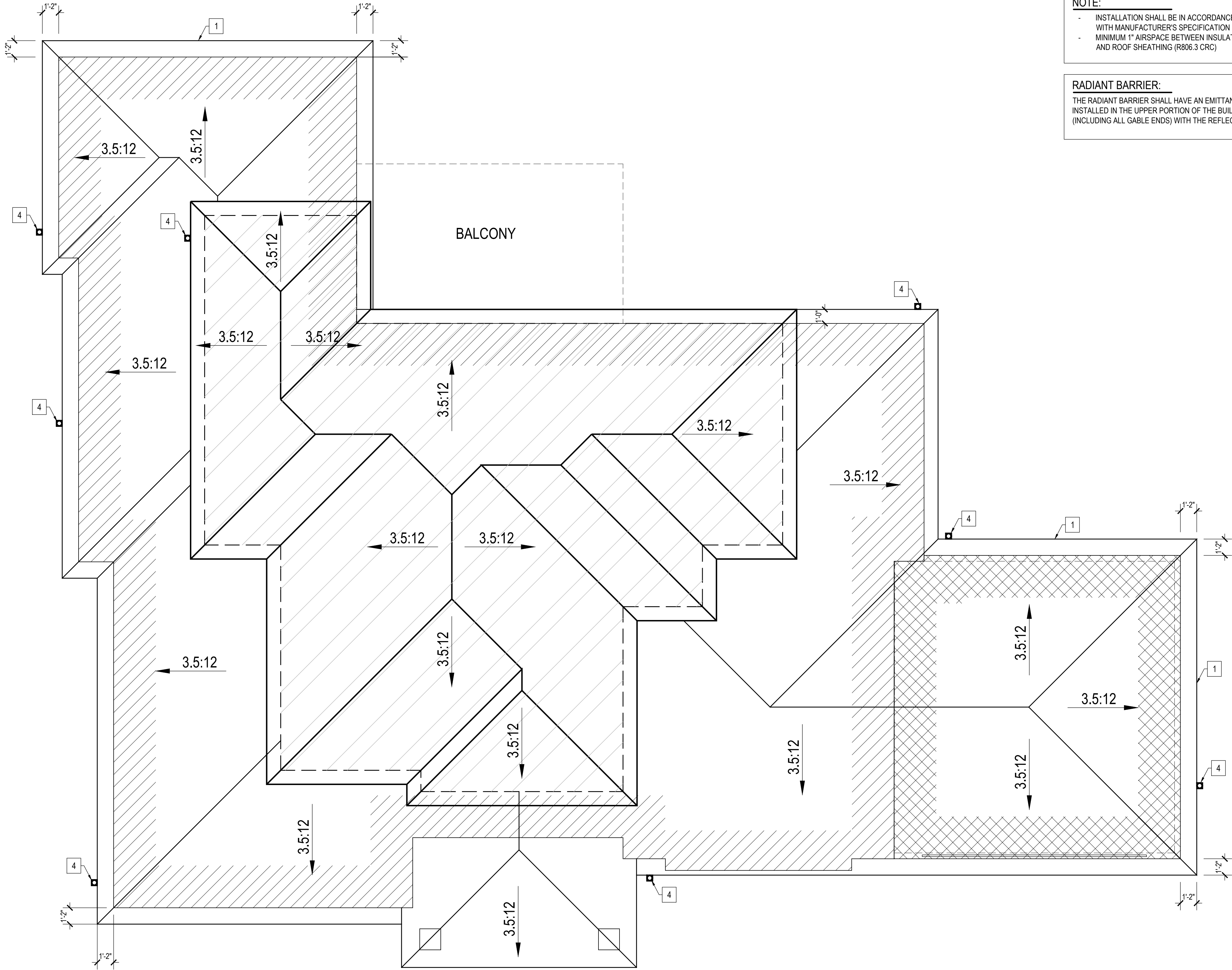
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PROPOSED SECOND FLOOR PLAN
AIVAZIAN RESIDENCE
924 OLD PHILLIPS RD. GLENDALE 91207

DATE:	05/2020
DRAWN BY:	NRK
JOB NO.	20028

SHEET NO.
A2.2

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ROOF PLAN KEYED NOTES

1. NEW CLASS 'A' ROOFING - BORAL ROOF CO.
SAXONY 900 SLATE - EBONY
APPALACHIAN BLEND - LIGHT WEIGHT CONC.
2. GA 26. METAL GUTTERS
3. OUTLINE OF FLOOR WALL
4. METAL DOWNSPOUTS (LOCATIONS)

☐ DOWNSPOUT LOCATION

NOTE:

- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION
- MINIMUM 1" AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING (R806.3 CRC)

RADIANT BARRIER:

THE RADIANT BARRIER SHALL HAVE AN EMITTANCE VALUE OF LESS THAN OR EQUAL TO 0.05 AND BE INSTALLED IN THE UPPER PORTION OF THE BUILDING TRUSS/RAFTER, COVERING THE ENTIRE ROOF/ATTIC (INCLUDING ALL GABLE ENDS) WITH THE REFLECTIVE SURFACE FACING DOWN TOWARD THE ATTIC

PROPOSED ROOF PLAN

SCALE : 1/4" = 1'-0"

REVISIONS:

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PROPOSED ROOF PLAN

AIVAZIAN RESIDENCE

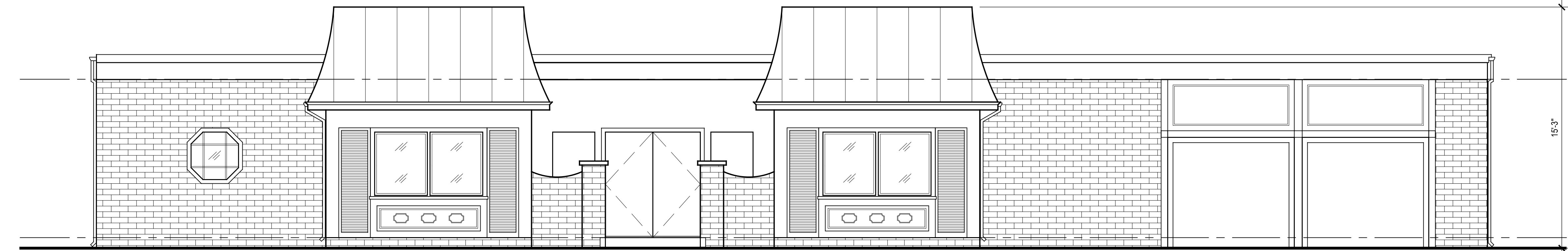
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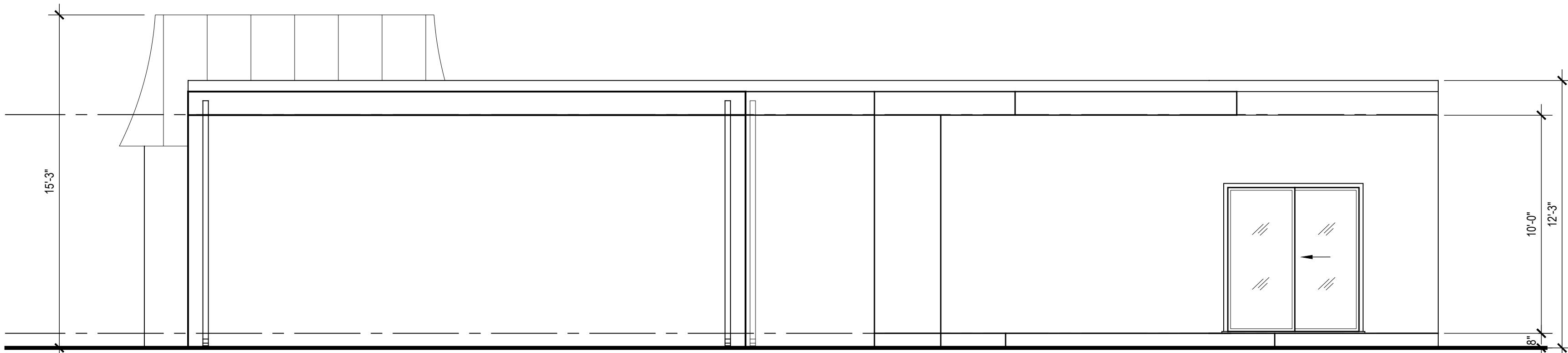
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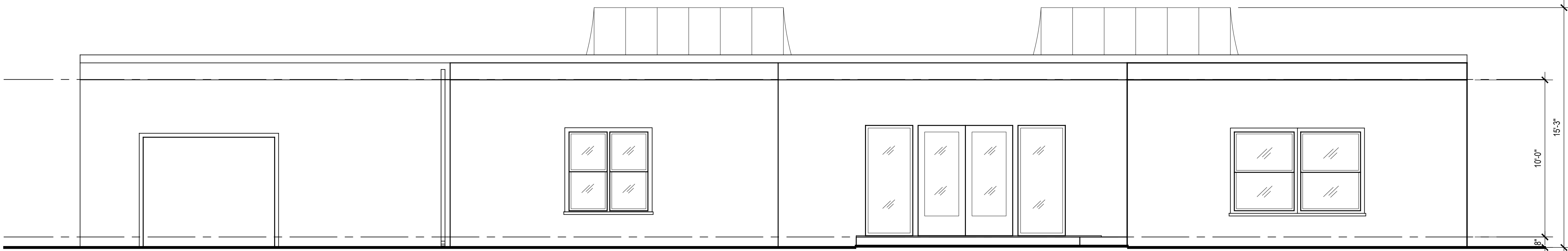
NORTH ELEVATION

SCALE : 1/4" = 1'-0"



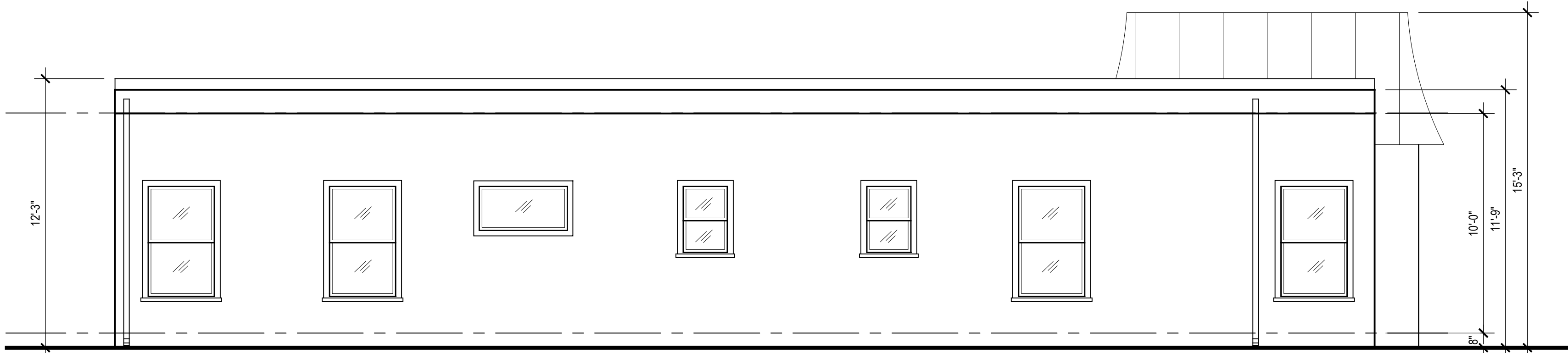
WEST ELEVATION

SCALE : 1/4" = 1'-0"



SOUTH ELEVATION

SCALE : 1/4" = 1'-0"



EAST ELEVATION

SCALE : 1/4" = 1'-0"

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EXT'G ELEVATIONS

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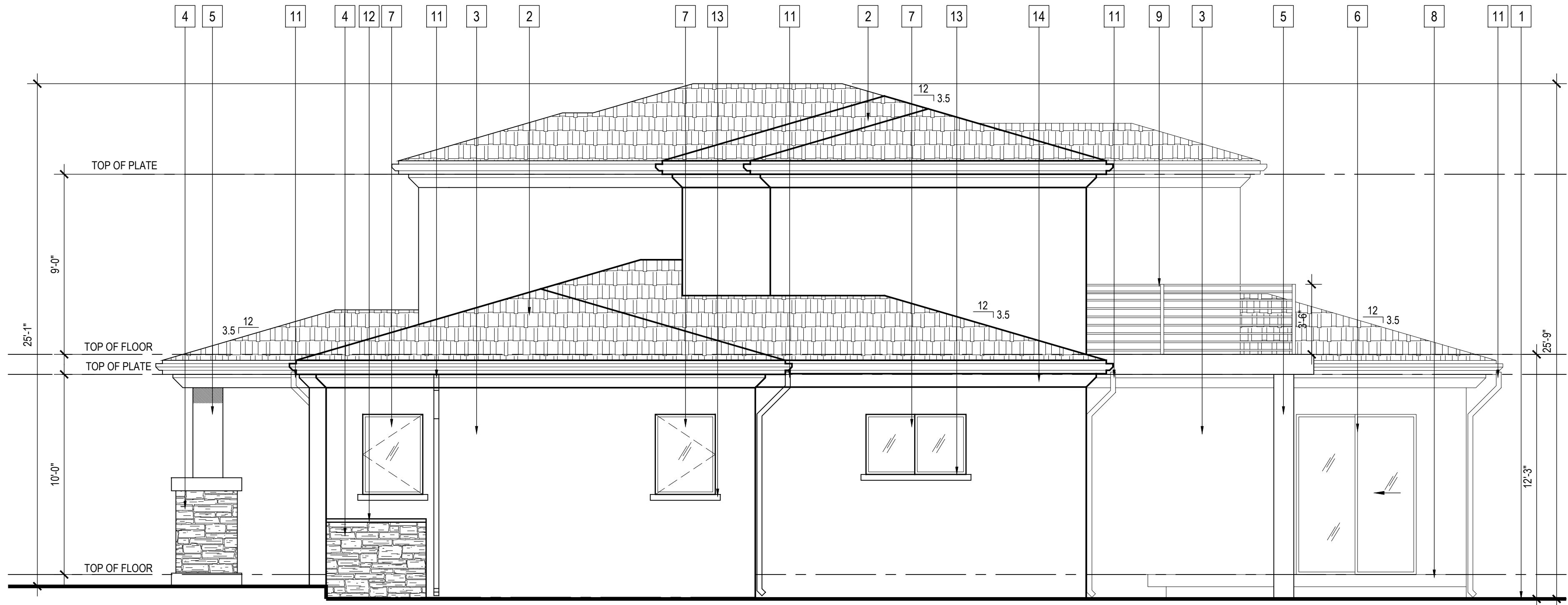
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FRONT (NORTH) ELEVATION

SCALE : 1/4" = 1'-0"



WEST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. NEW LIGHT FIXTURE
11. NEW DOWNSPOUT
12. NEW STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW PRE CAST MOLDING



EXTERIOR LIGHTING
WALL SCONES
QUOIZEL WESTOVER 14 1/4" HIGH EARTH BLACK
OUTDOOR WALL LIGHT

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ELEVATIONS

AIVAZIAN RESIDENCE

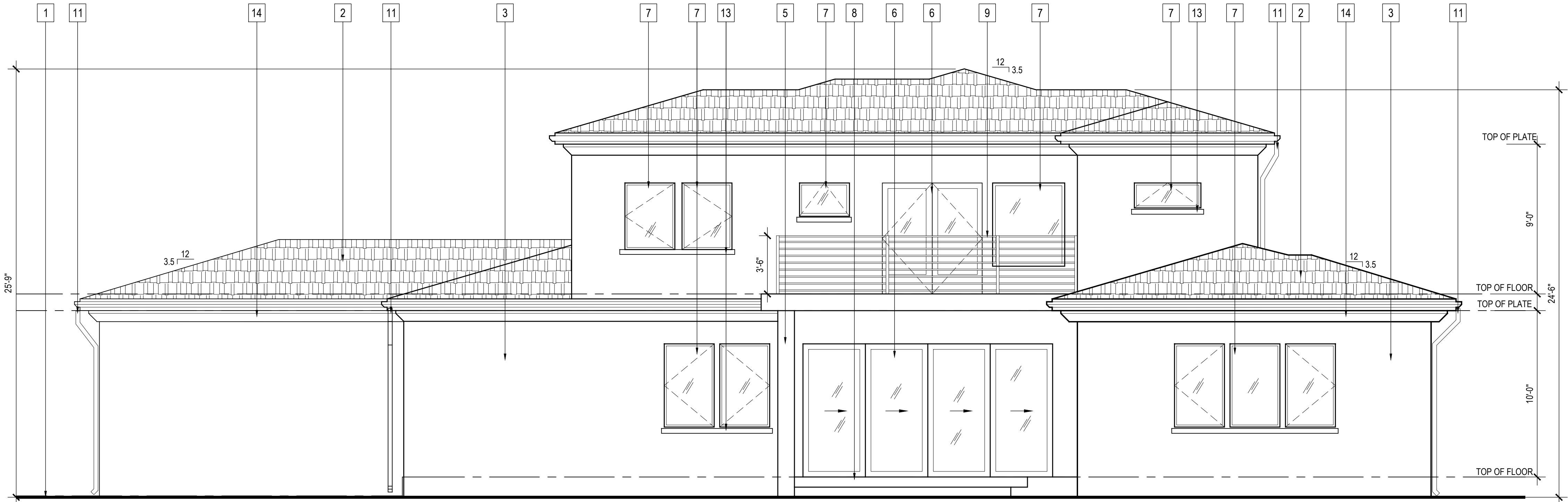
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A3.1

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REAR (SOUTH) ELEVATION

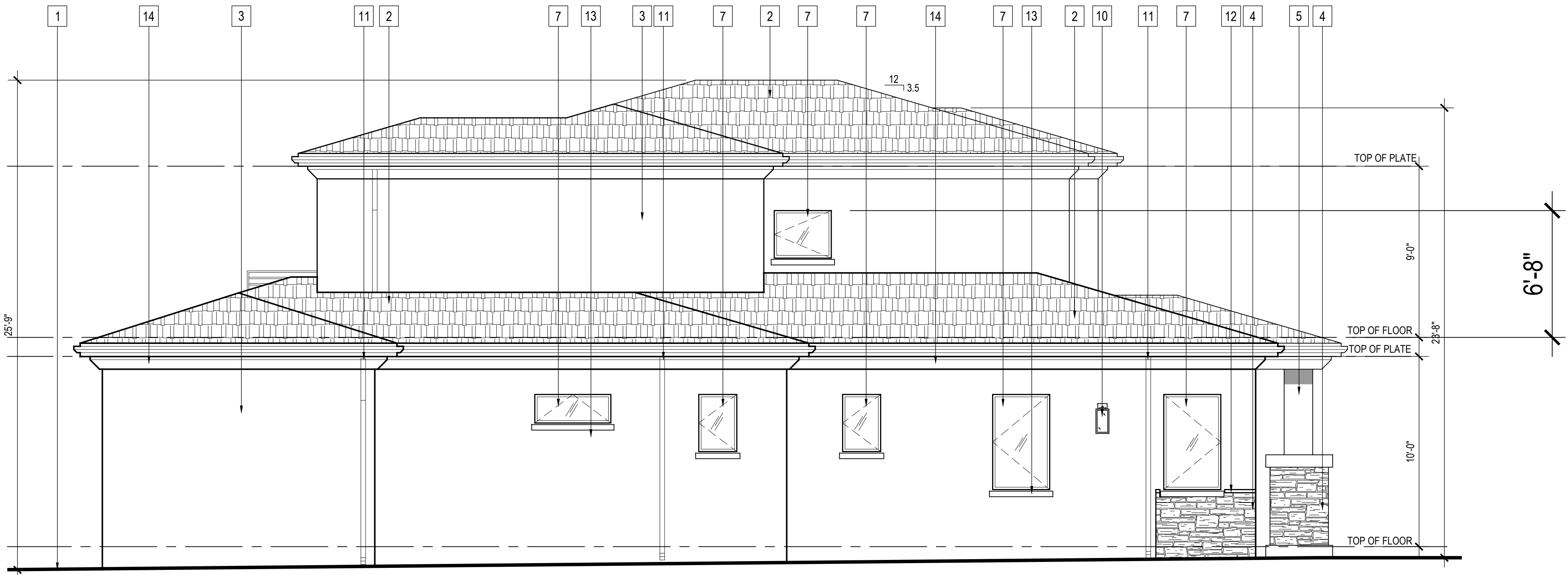
SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
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11. NEW DOWNSPOUT
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13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW PRE CAST MOLDING



EXTERIOR LIGHTING
WALL SCONES
QUOIZEL WESTOVER 14 1/4" HIGH EARTH BLACK
OUTDOOR WALL LIGHT



EAST ELEVATION

SCALE : 1/4" = 1'-0"

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ELEVATIONS

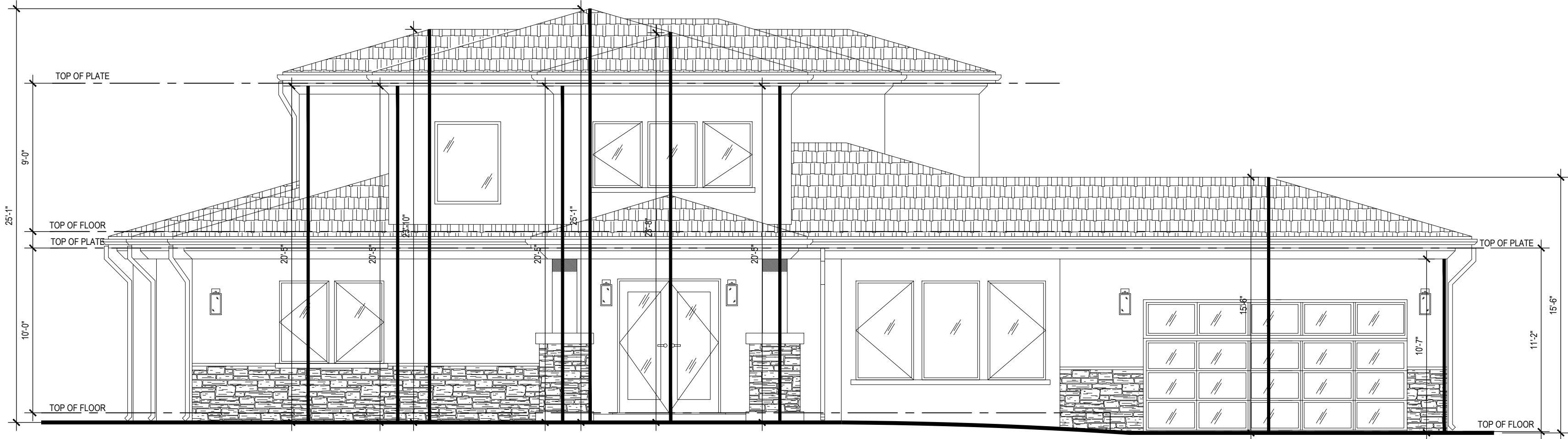
AIVAZIAN RESIDENCE

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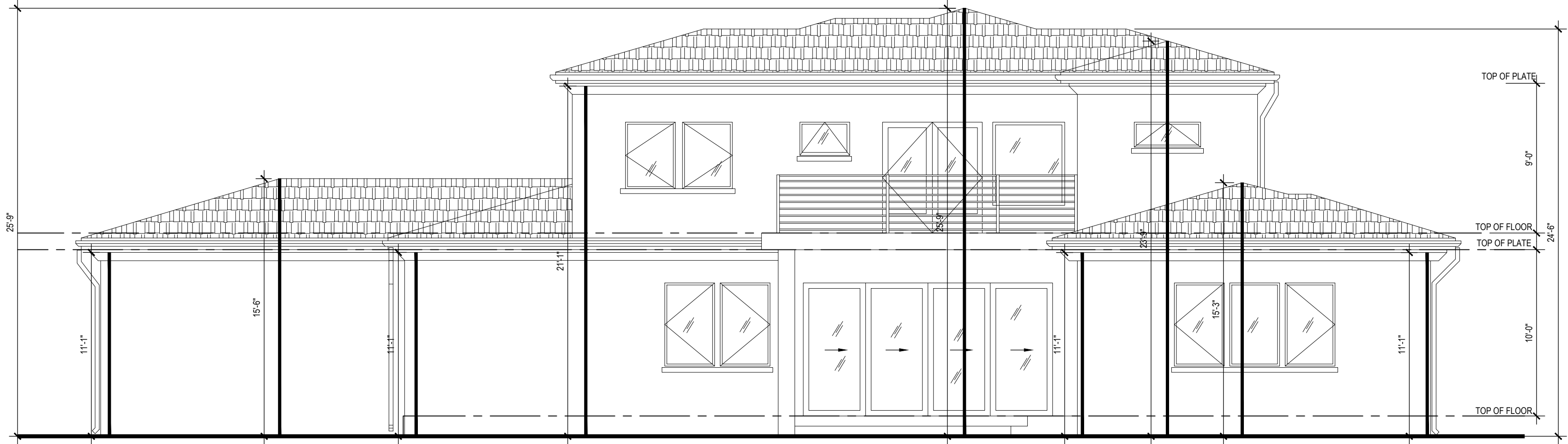
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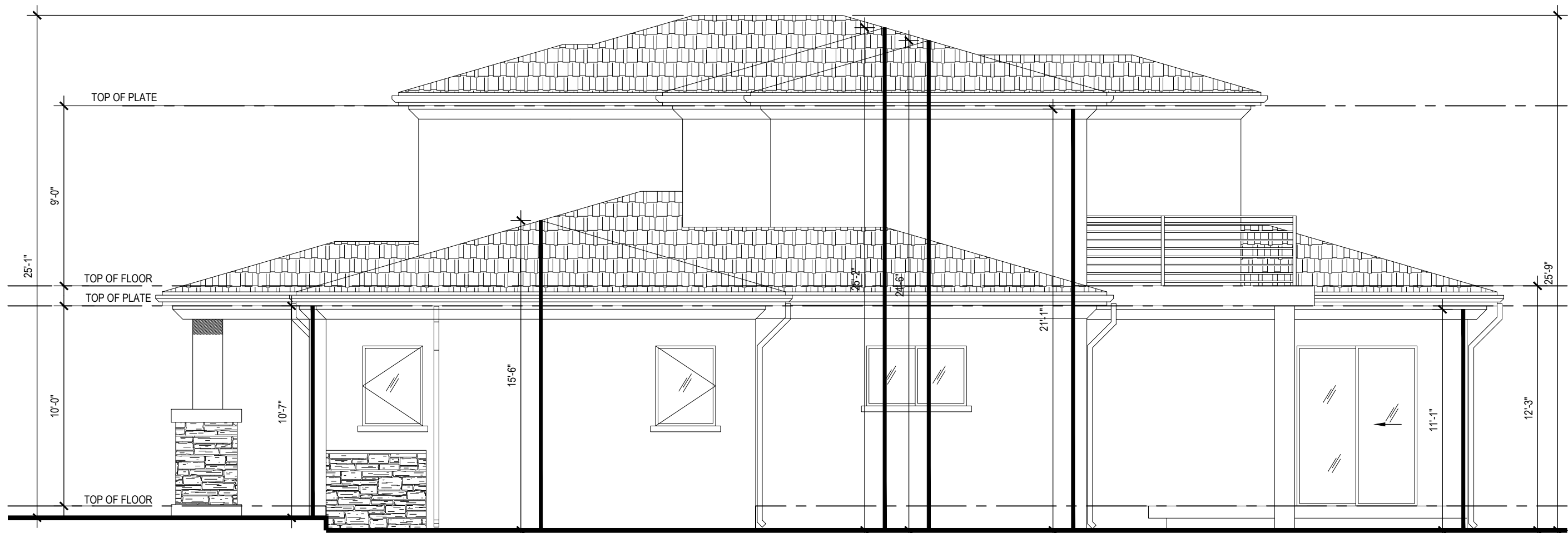
FRONT (NORTH) ELEVATION

SCALE : 3/16" = 1'-0"



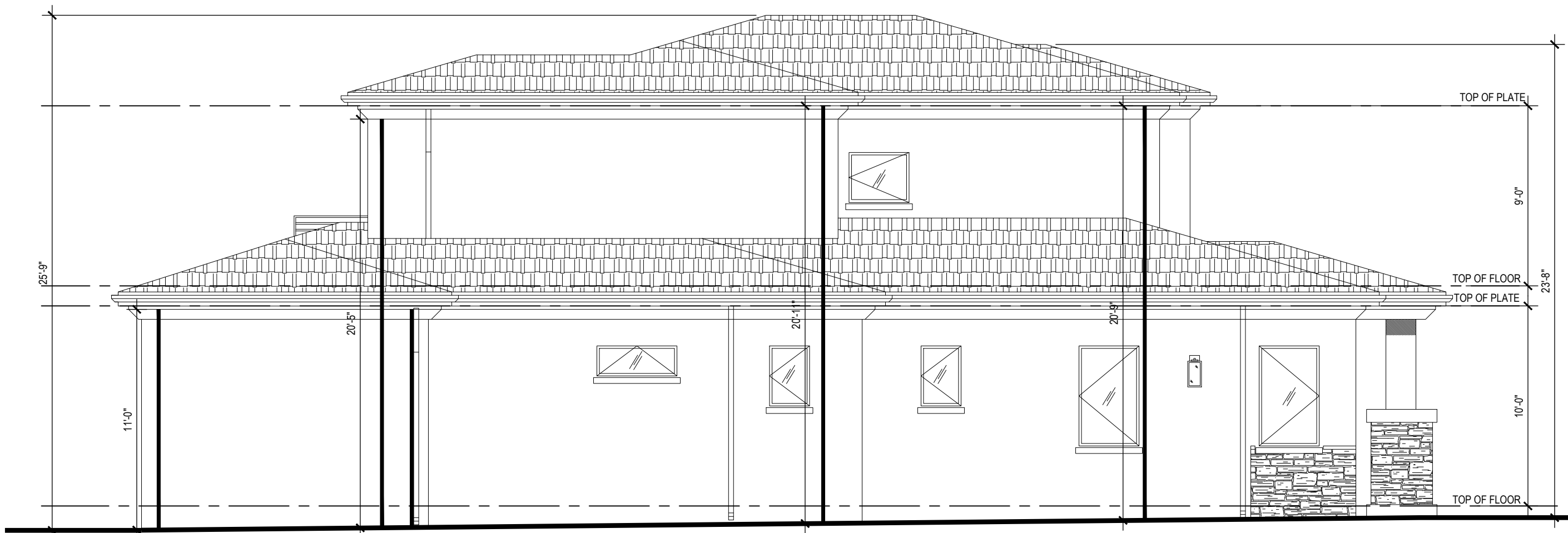
REAR (SOUTH) ELEVATION

SCALE : 3/16" = 1'-0"



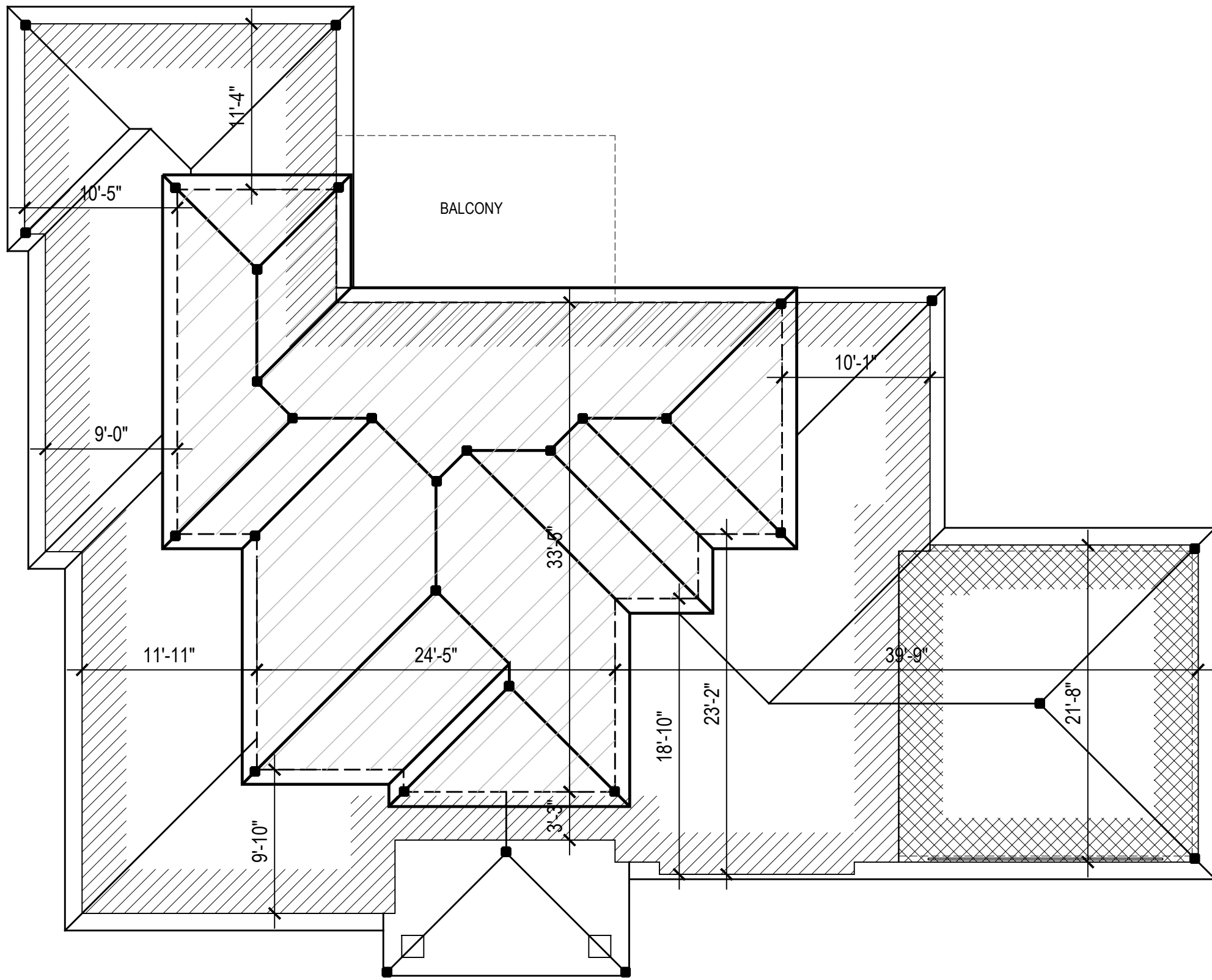
WEST ELEVATION

SCALE : 3/16" = 1'-0"



EAST ELEVATION

SCALE : 3/16" = 1'-0"



ROOF PLAN

SCALE : 1/8" = 1'-0"

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STOTY POLE PLAN

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RENDERING

AIVAZIAN RESIDENCE

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A3.4

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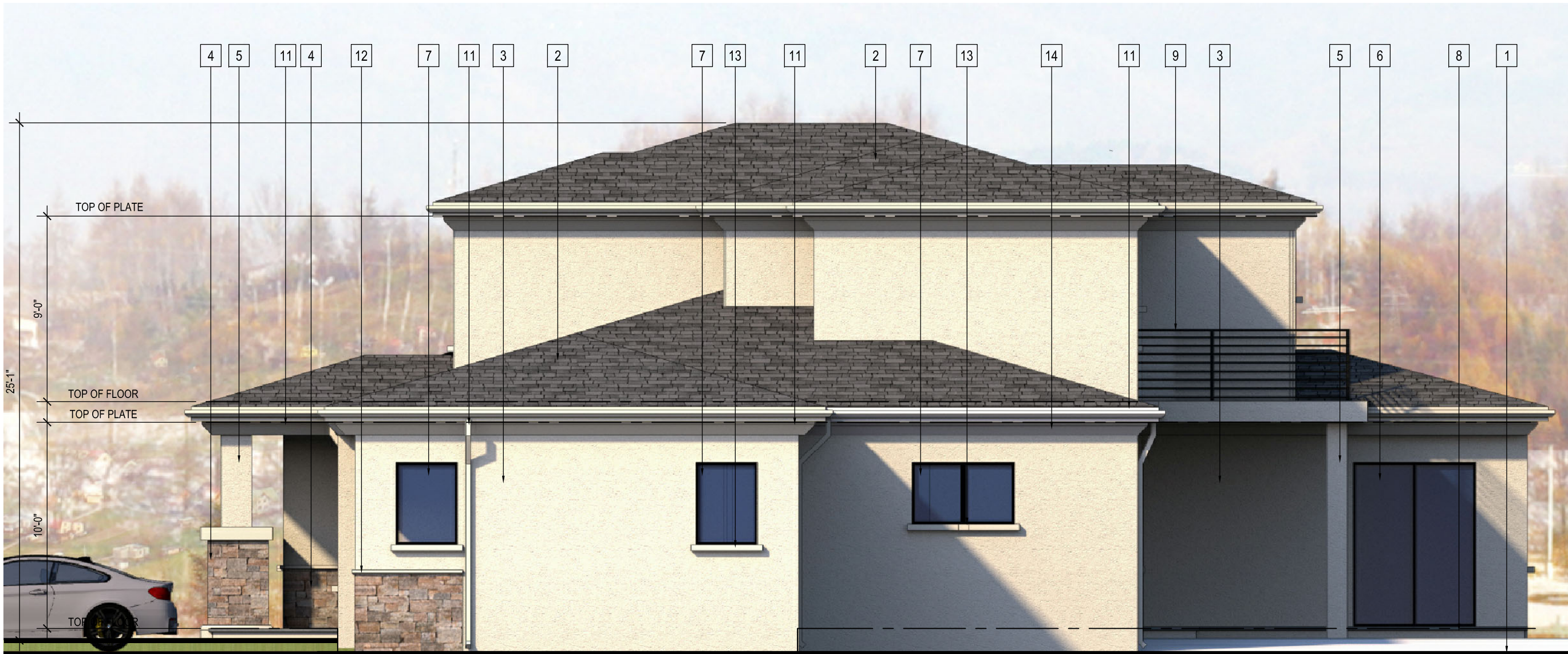
FRONT (NORTH) ELEVATION

ELEVATION KEYED NOTES

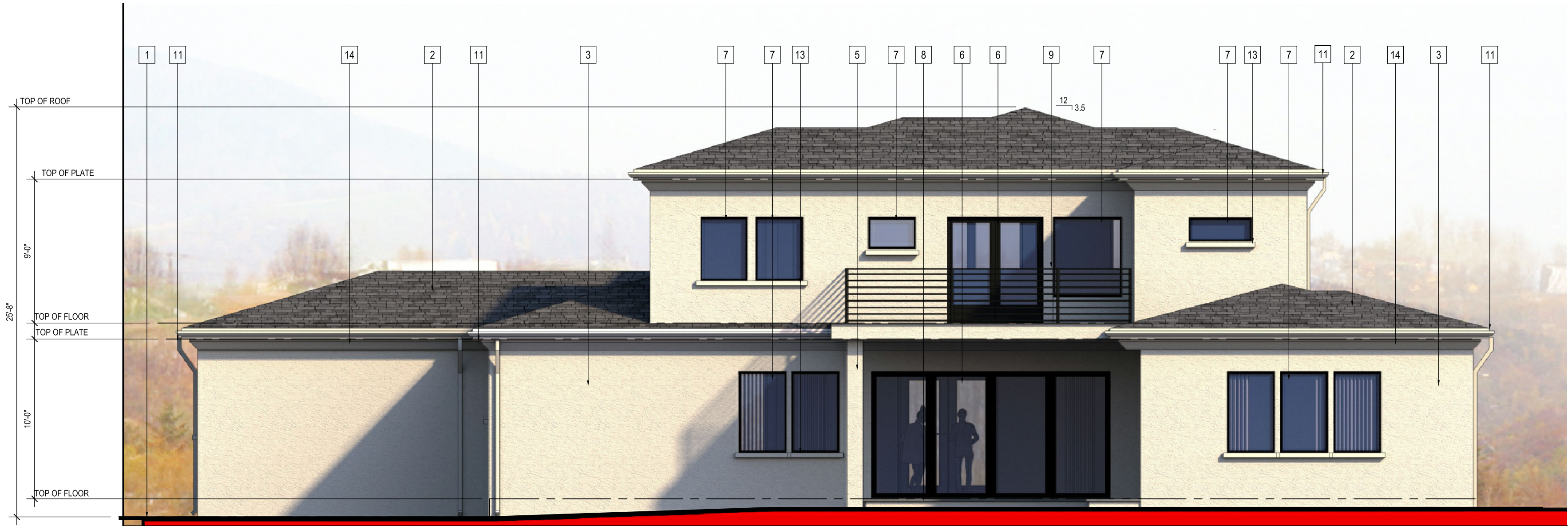
1. EXT'G GRADE
2. NEW CLASS 'A' ROOFING
3. NEW 7/8" SMOOTH STUCCO
4. STONE VENEER
5. NEW COLUMN
6. NEW DOOR (SEE SCHEDULE)
7. NEW WINDOW (SEE SCHEDULE)
8. NEW CONC. LANDING (WITH STEPS)
9. NEW RAILING 42" MIN. HT.
10. NEW LIGHT FIXTURE
11. NEW GUTTER & DOWNSPOUT
12. NEW STUCCO BAND
13. NEW CONC. WINDOW SILL 1-1/2" x 3"
14. NEW PRE CAST MOLDING
15. NEW GARAGE DOOR



EAST ELEVATION



WEST ELEVATION



REAR (SOUTH) ELEVATION

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COLORED ELEVATIONS

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A3.5



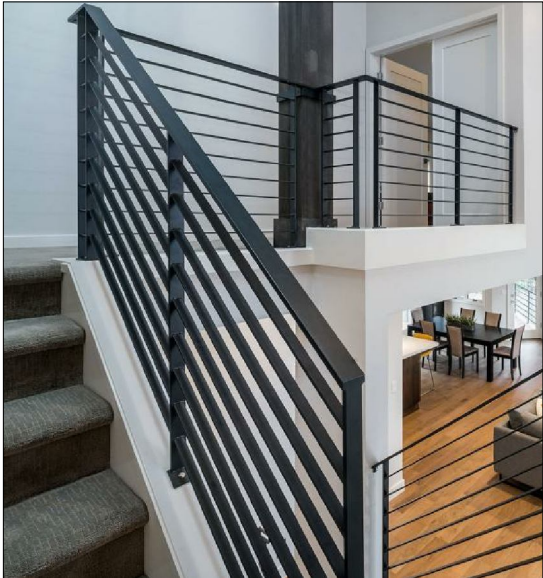
PAVERS:
ANGELUS PAVING STONES
GRAY BLEND



ROOF:
BORAL ROOF CO.
SAXONY 900 SLATE - EBONY
APPALACHIAN BLEND



WINDOWS:
MILGARD FIBERGLASS
COLOR: BLACK



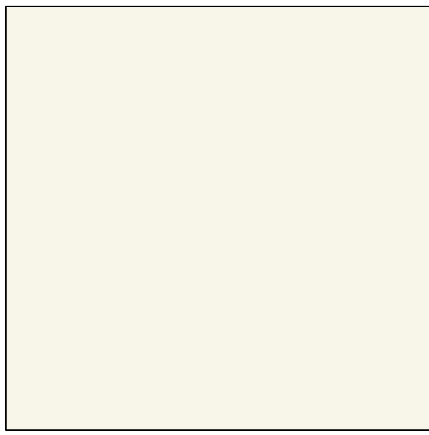
RAILING:
WROUGHT IRON
COLOR: PAINTED BLACK



GARAGE DOORS:
ANODIZED GLASS GARAGE DOORS
W/ FROSTED GLASS - DARK BRONZE



LIGHTING:
MODERN OUTDOOR LIGHTING
DESTINATION LIGHTING
COLOR: PAINTED BLACK



STUCCO:
DUNN EDWARDS
COLOR: SWISS COFFEE



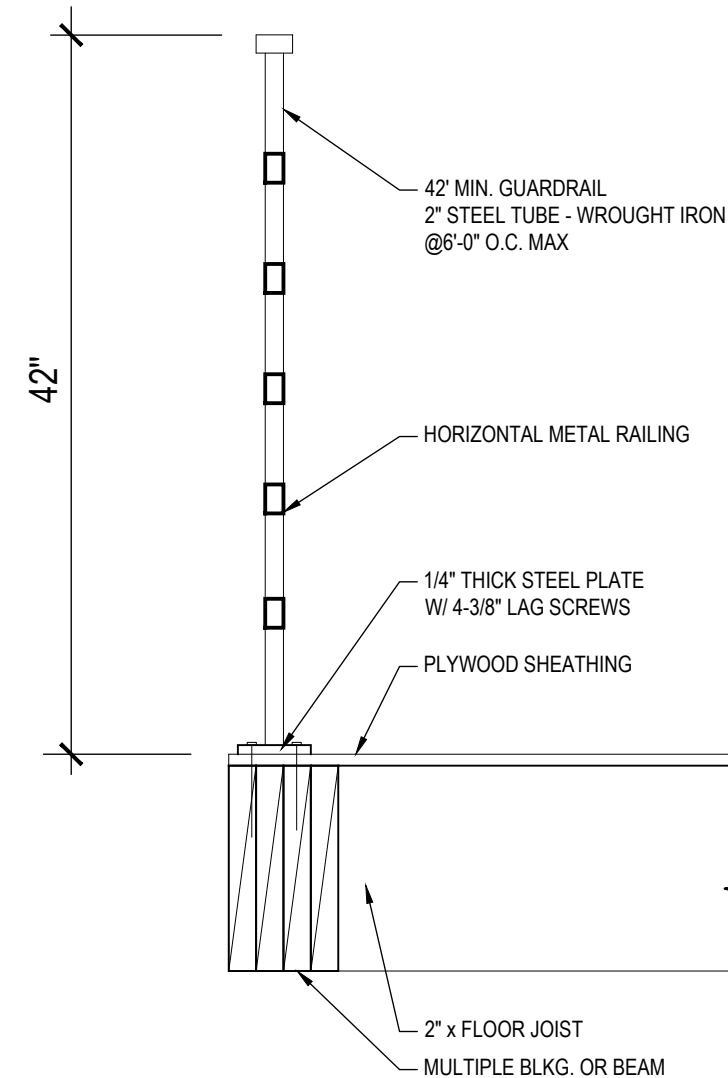
EXTERIOR STONE:
TETON GREY MANUFACTURED STONE
VENEER



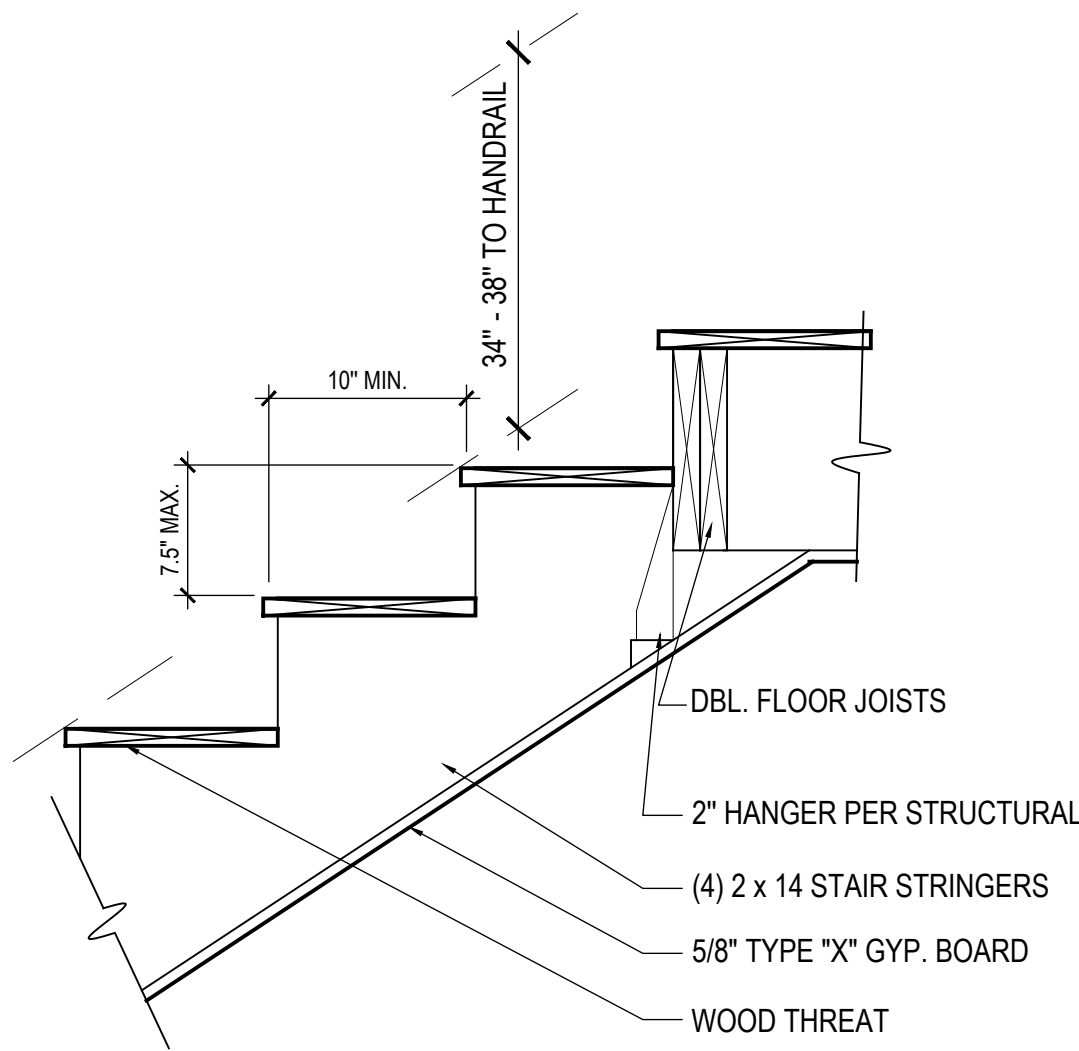
ENTRY DOOR:
STEEL DOOR W/ FROSTED GLASS
COLOR: PAINTED BLACK

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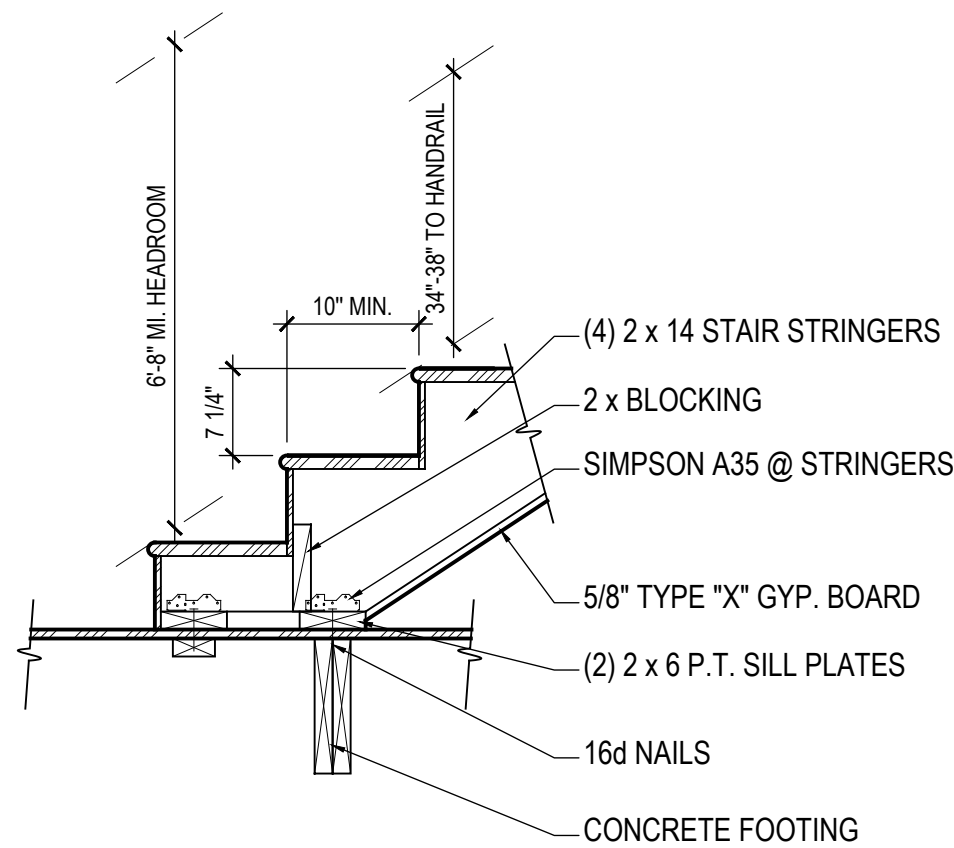
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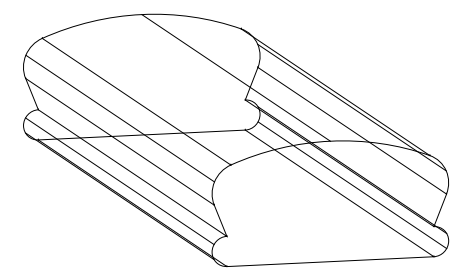
GUARDRAIL DETAIL - 3
SCALE : NTS



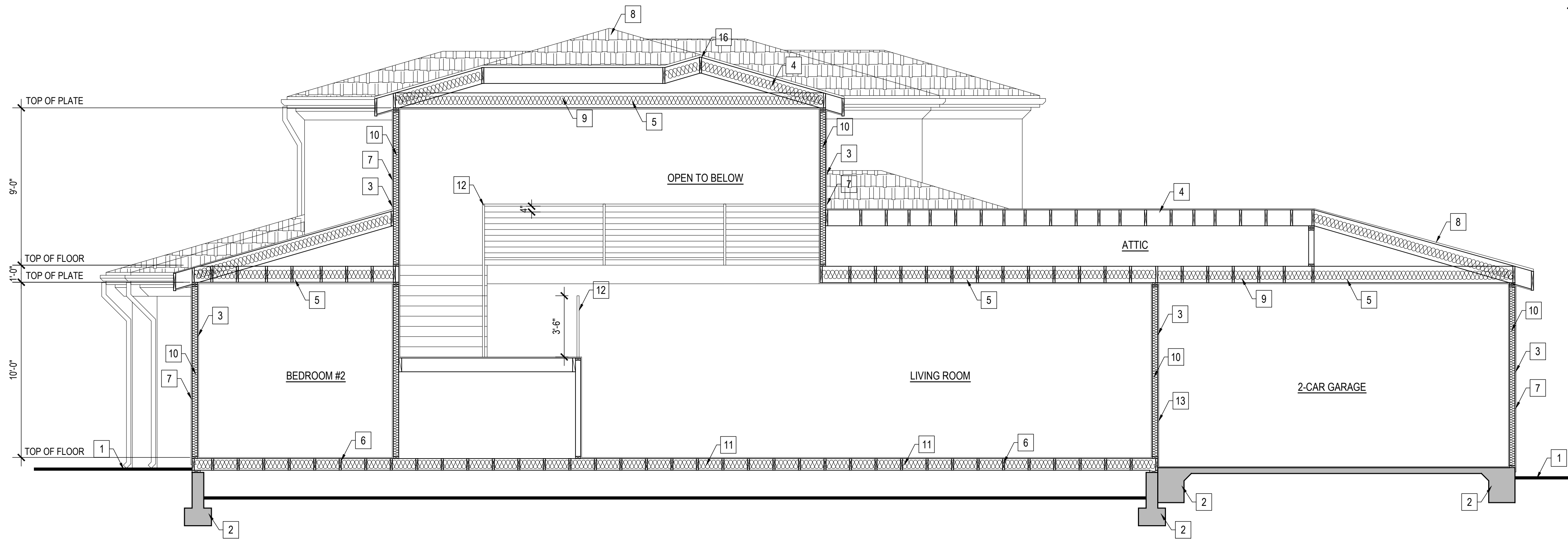
STAIR DETAIL - 1
SCALE : NTS



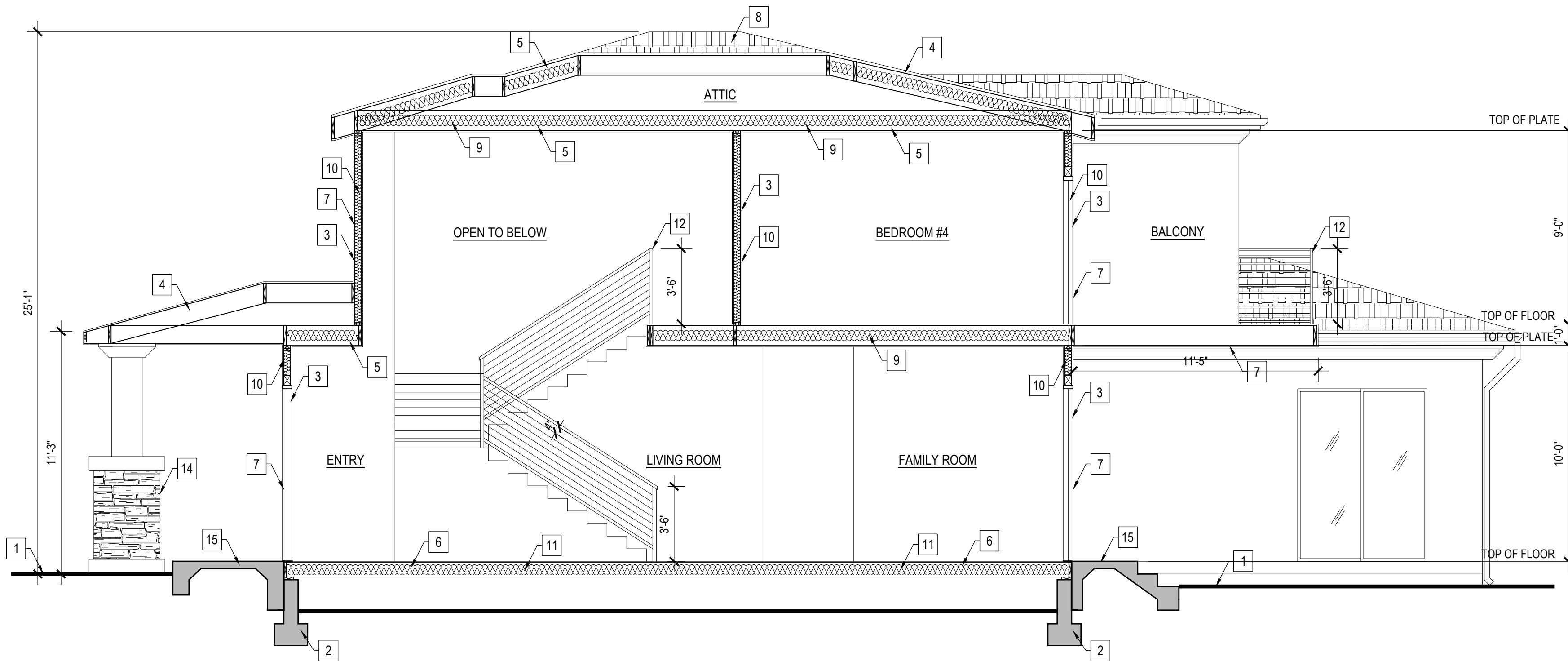
STAIR DETAIL - 2
SCALE : NTS



- PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH OR MORE RISERS AND AT ALL OPEN SIDES.
- RETURN HANDRAILS TO NEWEL POST OF WALL HANDRAIL GRIPS SHALL BE EITHER TYPE I OR TYPE II
- HANDRAILS (TYPE I) SHALL BE AT LEAST 1 25" AND 2" OUTSIDE DIAMETER. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 25" AND A MAXIMUM CROSS-SECTIONAL DIMENSION OF 2 25"
- HANDRAILS (TYPE II) WITH A PERIMETER GREATER THAN 6 25" SHALL HAVE GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. RECESSES SHALL BEGIN WITHIN 3/4" FROM THE TALLEST PORTION OF THE PROFILE AND BE AT LEAST 5/16" DEEP WITHIN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO LEVEL THAT IS NOT LESS THAN 1 75" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH ABOVE THE RECESS SHALL BE 1 25" TO 2 75".



SECTION A-A
SCALE : 1/4" = 1'-0"



SECTION B-B
SCALE : 1/4" = 1'-0"

CROSS SECTION KEY NOTES

- EXT'G GRADE
- NEW CONC. FOUNDATION PER STRUCTURAL
- NEW 2" x STUD WALL
- NEW 2" x ROOF RAFTERS
- NEW 2" x CEILING JOISTS
- NEW 2" x FLOOR JOISTS
- NEW 7/8" SMOOTH STUCCO
- NEW CLASS 'A' ROOF
- NEW R -- INSULATION
- NEW R -- INSULATION
- NEW R -- INSULATION
- NEW GUARDRAIL 42" MIN. HT.
- NEW 5/8" TYPE 'X' GYP BOARD
- NEW COLUMN
- NEW CONC. LANDING
- NEW RIDGE BOARD

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PROPOSED SECTIONS & DETAILS

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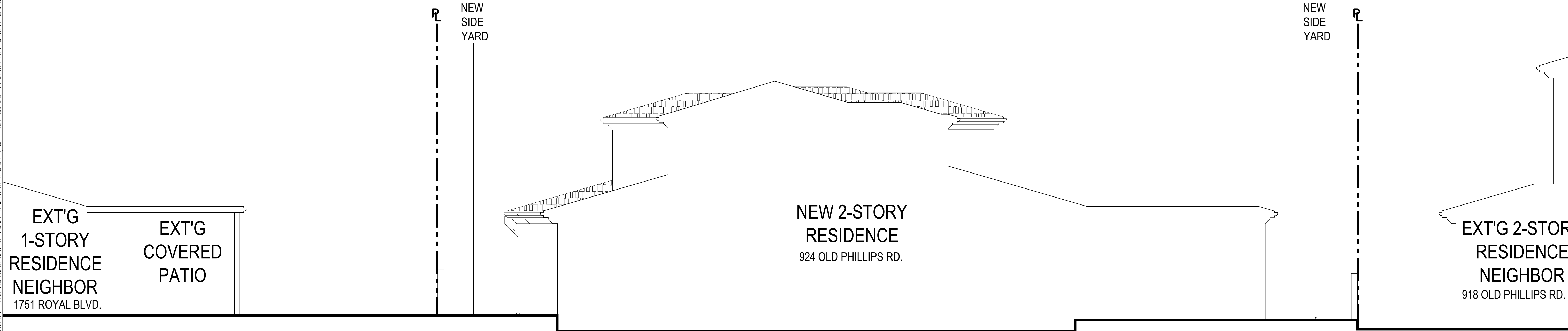
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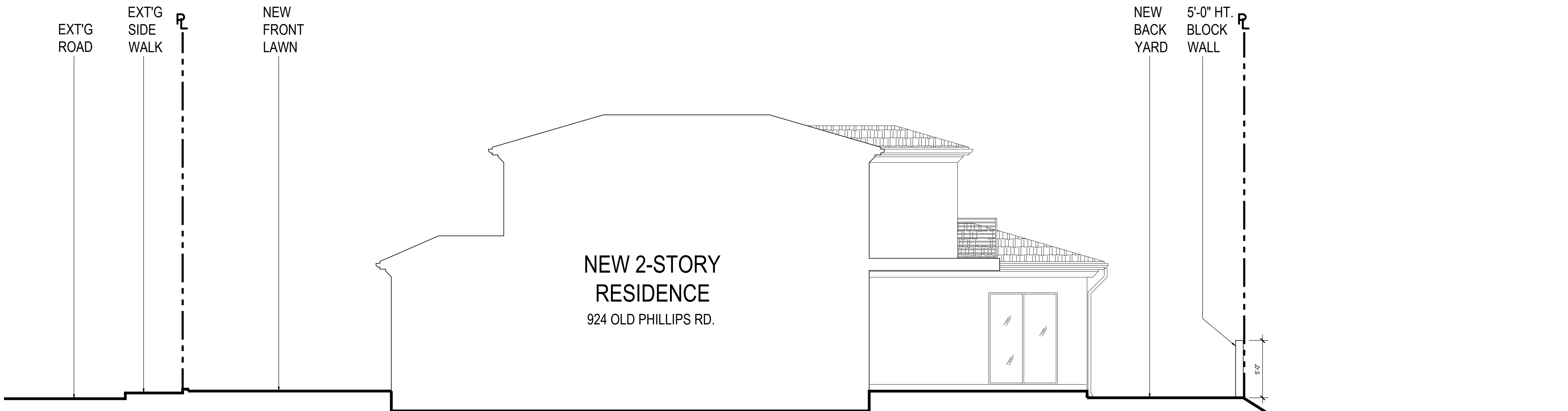
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SECTION A-A
SCALE : 3/16" = 1'-0"



SECTION B-B
SCALE : 3/16" = 1'-0"

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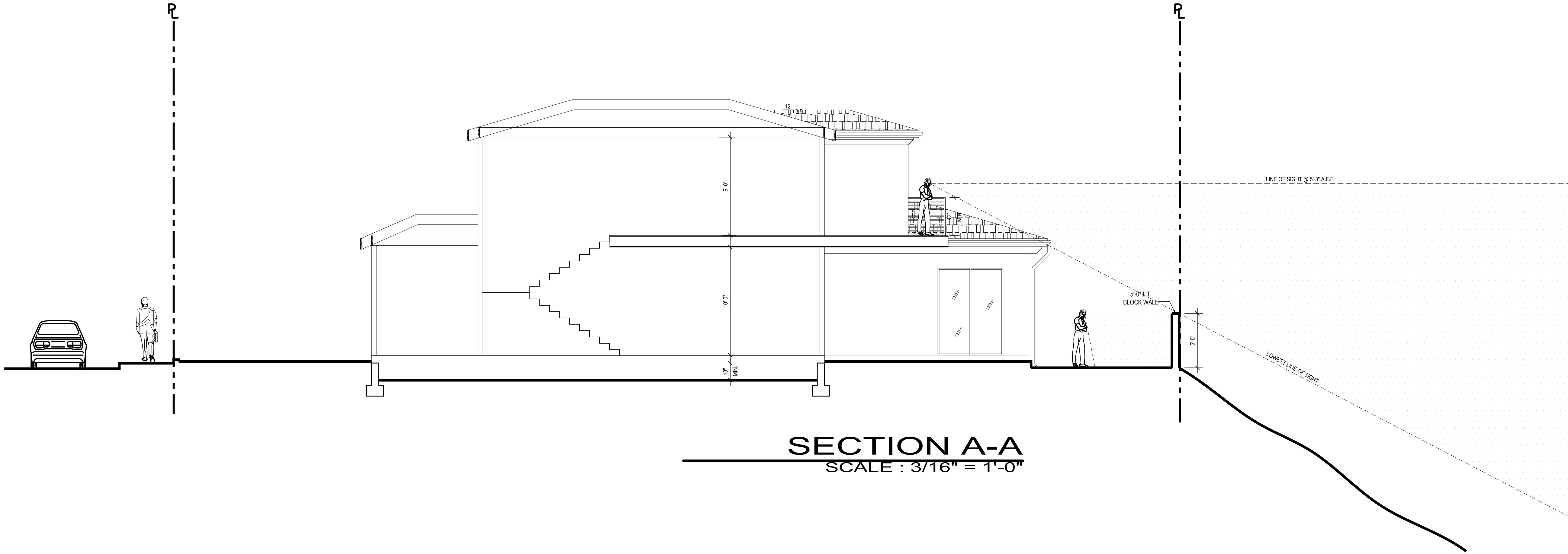
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PROPOSED SITE SECTIONS

AIVAZIAN RESIDENCE
924 OLD PHILLIPS RD. GLENDALE, CA 91207

DATE:	08/2022
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PROPOSED SITE SECTION

AIVAZIAN RESIDENCE

924 OLD PHILLIPS RD. GLENDALE, CA 91207

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SHEET NO.
A4.2

RESIDENTIAL REMODEL / ADDITION

924 OLD PHILLIPS RD. GLENDALE, CA 91207

PROJECT INFORMATION

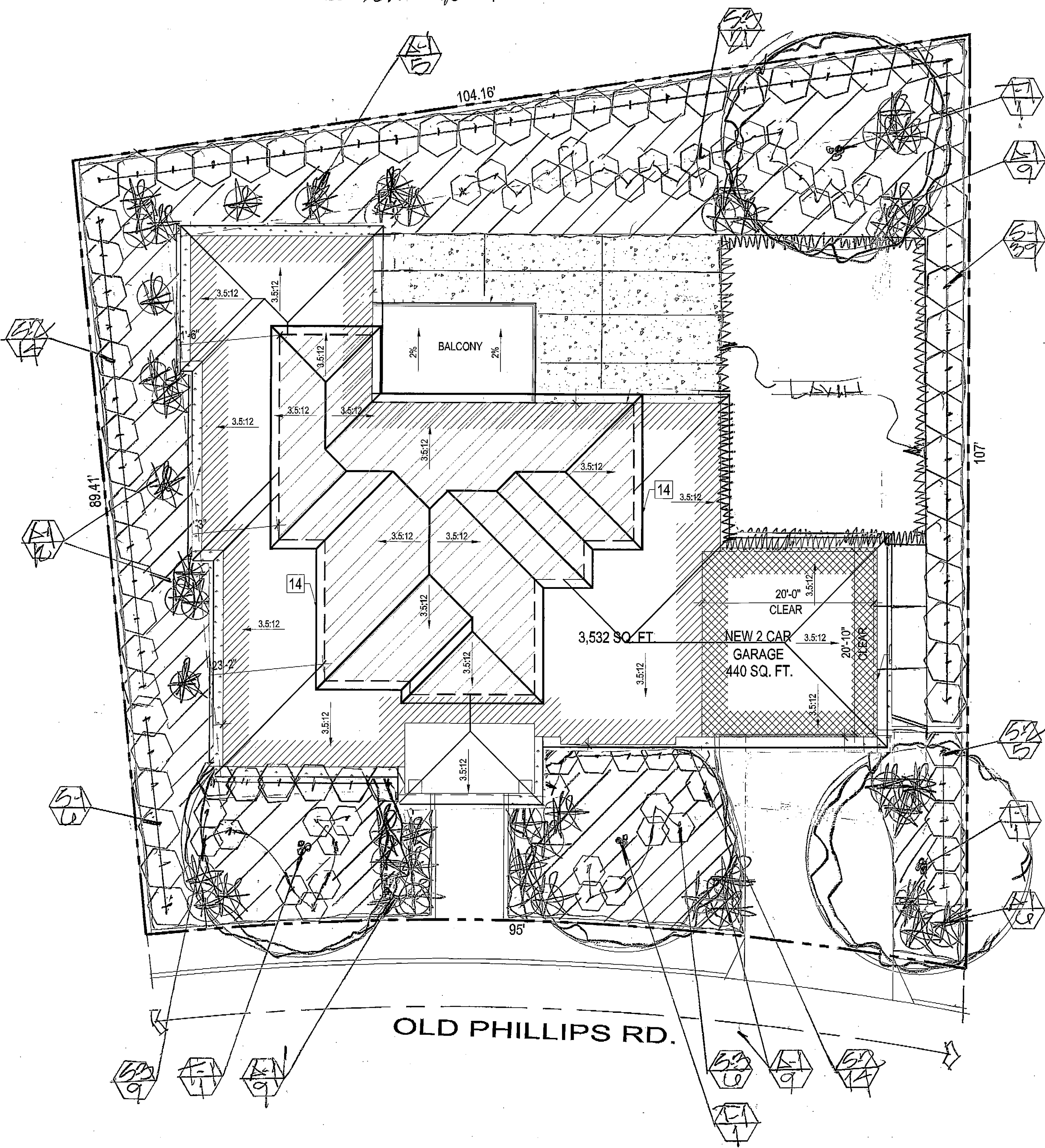
PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207

PROJECT DESIGNER
DESIGNNRK
213 N. ORANGE STREET, STE. E
GLENDALE, 91203
OFFICE : 818.823.7286
FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM



SCALE: 1/8" = 1'-0"



PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
LX	T-1	OLEA EUROPA 'SYNTH'	FRUITLESS OLIVE	30'x4'	-
LX	S-1	YUCCA VISCOSA	HORSESHOE BUSH	50W 45	5'0.0
LX	S-2	ALBANYA HIBISCUS	BLUE HIBISCUS	50W 55	4'0.0
LX	S-3	ROMA 'BLUE FLAME'	BLUE FLAME ACACIA	50W 30	3'0.0
LX	A-1	DIETES BICOLOR	FOXTAIL LILY	50W 50	2'0.0
LX	LAWN	BACHLOE VAGYLOVOS	BUFFALO GRASS	50W	-
LV	GROWING COVER = SENECIO (ALL P.A.S.)	BLUE SENECIO	FLATS	AS NOTED	12'0.0

LX = LOW WATER USE PLANT / P.F. = 3
LANDSCAPE AREA = 4,500 SQ. FT.

LEGEND

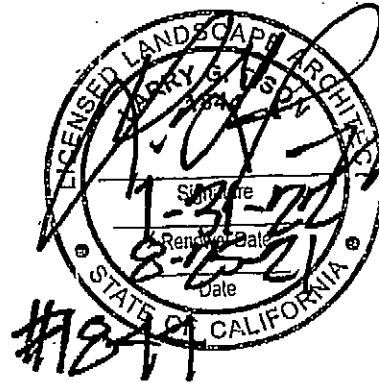
- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED ACCENT
- PROPOSED GROUND COVER
- PLANT SYMBOL QUANTITY

A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS; EXCEPT FOR TREE AREAS, UNLESS OTHERWISE SPECIFIED. MULCH SHALL BE APPLIED TO THE SOIL SURFACE AT THE RATE OF 2 CUBIC YARDS SOIL PER 1,000 SQUARE FEET OF PLANTING AREA. MULCH SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.

PLANTING PLAN

IRRIGATION COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
818-241-9169

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#1 - 8-24-21 / LGT

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COVER SHEET & SITE PLAN
AIVAZIAN RESIDENCE
924 OLD PHILLIPS DR., GLENDALE 91207

DATE: 8-24-21
DRAWN BY: LGT
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L-1

RESIDENTIAL REMODEL / ADDITION

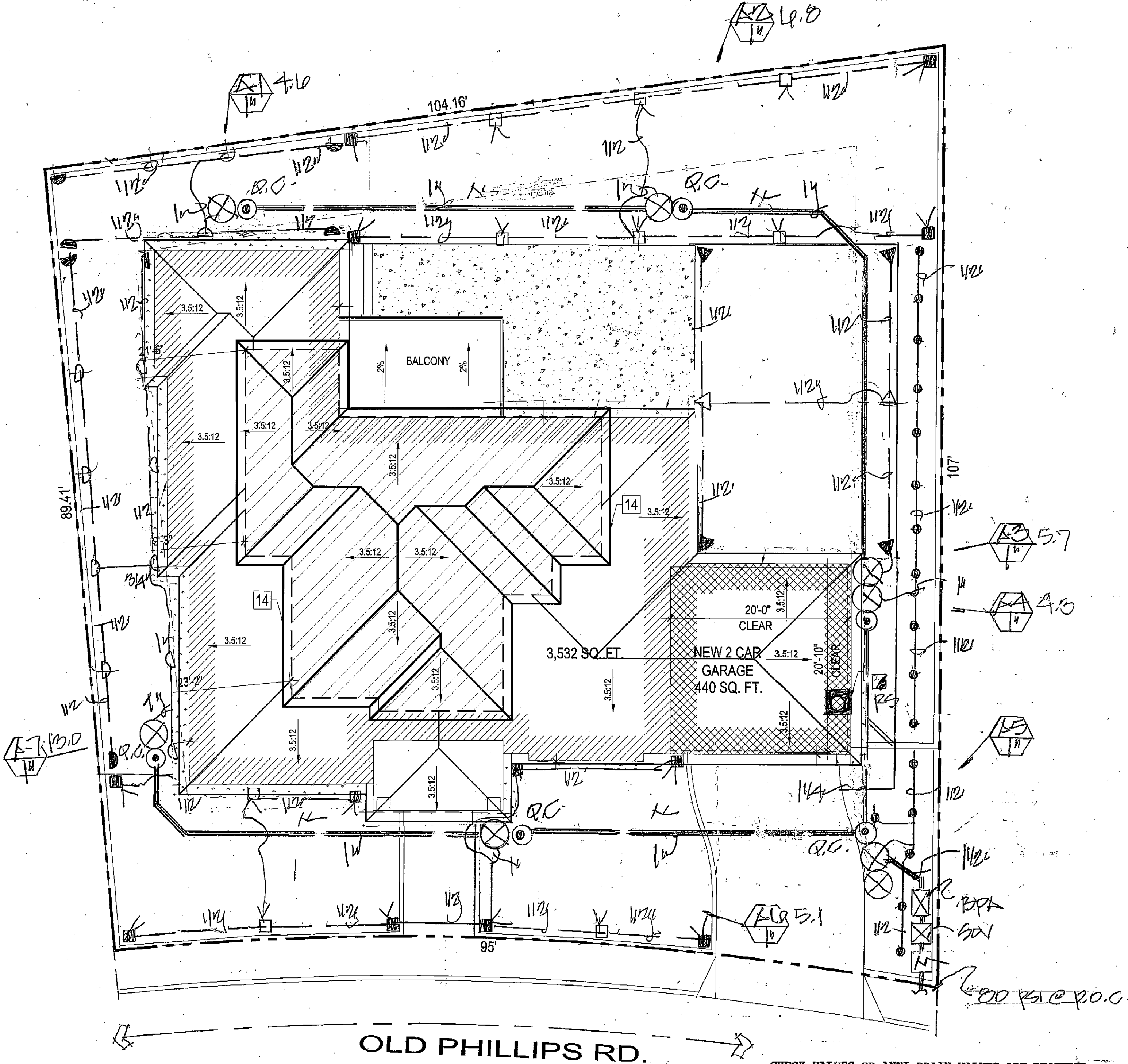
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PROJECT INFORMATION

PROJECT LOCATION
924 OLD PHILLIPS RD.
GLENDALE, 91207

PROJECT DESIGNER
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FAX : 888.424.8125
E-MAIL : INFO@DESIGNNRK.COM

OWNER
AIVAZIAN
924 OLD PHILLIPS RD.
GLENDALE, 91207



Reference Evapotranspiration (ET_o) / 43.7

Hydrozone Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (%)	ET _o (inches) (ET _o x PF)	Landscape Area (sq. ft.)	ETAP Area (sq. ft.)	Estimated Total Water Use (gallons)
Regular Landscape Areas							
A-1/L	.3	S	.75	.4	1340	1340	31085
A-2/L	.3	S	.75	.4	1340	1340	31085
A-3/L	.3	S	.75	.4	1340	1340	31085
A-4/L	.3	S	.75	.4	1340	1340	31085
A-5/L	.3	S	.75	.4	1340	1340	31085
A-6/L	.3	S	.75	.4	1340	1340	31085
A-7/L	.3	S	.75	.4	1340	1340	31085
Special Landscape Areas							
[Shaded Area]							
Totals							48985
ET _o Total							48985
Minimum Allowed Water Allowance (GALLONS)							679167

Hydrozone/Planting Description E.g.
1) Freshwater
2) For water use planning
3) medium water use planning
(5) Irrigation method
or other
(6) BUBBLER
ET_o (Annual Evapotranspiration) = ET_o x ETAP Area
ET_o is a constant factor that converts water use per
year to gallons per square foot per year. ET_o is based on
actual ET_o data for the area. ET_o is based on actual
ET_o data for the area. ET_o is based on actual ET_o data
for the area. ET_o is based on actual ET_o data for the
area. ET_o is based on actual ET_o data for the area.

$(43.7)(0.60)(.55)(4,540) + (0)$
ET_o = 67,916.7 GPY
ET_o = 48,985 GPY

- LEGEND
- WEATHER BASED CONTROLLER (RAINBIRD ESP-LXME 8 STATION)
 - RAIN SENSOR (RAINBIRD RSD-BEX)
 - BACKFLOW PREVENTER (FEBCO 825-Y-1 1/2")
 - QUICK COUPLER (RAINBIRD 44LC)
 - VALVE (RAINBIRD PER SERIES)
 - VALVE NO. / GPM
 - VALVE SIZE
 - MAINLINE / SCHED. 40 PVC
 - LATERAL LINE / SCHED. 40 PVC
 - SHUT-OFF VALVE
 - IRRIGATION METER

SPRINKLER HEADS

SYMBOL	DESCRIPTION	MODEL NO.	GPM	RADIUS	PSI
▼	RAINBIRD POP-UP/RTZ	1312-RVH172A-90°	.73	21'	30
▼	"	1312-RVH172A-180°	1.41	21'	30
■	"	1312-RVH18-90°	.42	10'	30
□	"	1312-RVH18-180°	.85	10'	30
●	"	1312-12H4PP	.105	12'	30
○	"	1312-12H4PP	.13	12'	30
●	BUBBLER	1312-1401	.25	-	30

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE CAN OCCUR.
MANUAL SHUT-OFF VALVES SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY. TO MINIMIZE WATER LOSS IN CASE OF EMERGENCY OR ROUTINE REPAIR.
PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
A DIAGRAM OF THE IRRIGATION PLAN, SHOWING HYDROZONES SHALL BE KEPT WITHIN THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER DESIGNER OF THE LANDSCAPE PLANS; IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
AT THE TIME OF THE FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

IRRIGATION PLAN



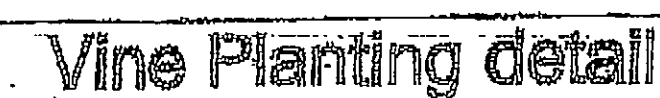
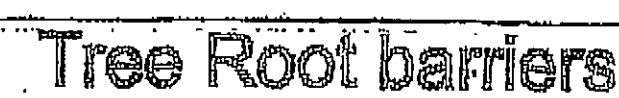
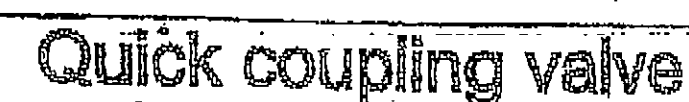
LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
818-241-9169

REVISIONS:
#1-9-2022-NAE
#2-11-2022-NAE

COVER SHEET & SITE PLAN
AIVAZIAN RESIDENCE
924 OLD PHILLIPS DR., GLENDALE 91207

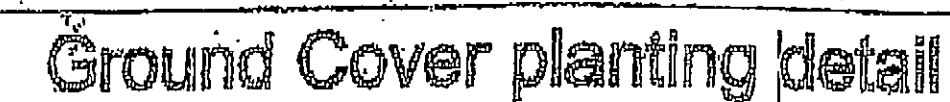
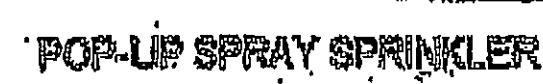
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- ### Landscape Notes

Soil characteristics



- ### Irrigation notes

